



***Tentative Agenda for Regular
Meeting of Town Council***

Monday, August 8, 2022 @ 7:00 PM

55 Victoria Street

Kensington, PEI

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***Please ensure all cell phones and other electronic devices are turned
off or placed on non-audible mode during the meeting.***

**Town of Kensington
Regular Meeting of Town Council
Monday, August 8, 2022 – 7:00 PM**

- 1. Call to Order/Land Acknowledgement**
- 2. Adoption of Agenda (Additions/Deletions)**
- 3. Declaration of Conflict of Interest**
- 4. Delegations, Special Speakers, and Public Input**
- 5. Adoption of Previous Meeting Minutes**
 - 5.1 June 11, 2022 Regular Meeting
- 6. Business Arising from Minutes**
 - 6.1 July 11, 2022 Regular Meeting
- 7. Reports**
 - 7.1 Chief Administrative Officer Report
 - 7.2 Fire Department Statistical Report
 - 7.3 Police Department Statistical Report
 - 7.4 Development Permit Summary Report
 - 7.5 Bills List – Town
 - 7.6 Bills List Water and Sewer Utility
 - 7.7 Summary Income Statement
 - 7.8 Credit Union Centre Report
 - 7.9 Mayor's Report
 - 7.10 Federation of Prince Edward Island Municipalities Report – Councillor Mann
 - 7.11 Heart of PEI Initiative Report – Deputy Mayor Pickering

7.12 Kensington and Area Chamber of Commerce Report – Councillor MacRae

7.13 PEI 55 Plus Games – Councillor Gallant

8. New Business

8.1 Request for Decisions

8.1.1 RFD2022-31 - Broadway Street South Infrastructure Upgrades – Tender Award

8.1.2 RFD2022-32 - Development Control Bylaw and Official Plan Amendment - PID No. 762559 (Lot B36 Rosewood Drive) – Second Reading and Formal Adoption

8.3 Other Matters

9. Correspondence

10. Committee of the Whole (In-Camera) - Nil

11. Adjournment

**Town of Kensington
Minutes of Regular Council Meeting
Monday, July 11, 2022
7:00 PM**

Council Members Present: Mayor Rowan Caseley; Deputy Mayor Pickering
Councillors: Toombs, Gallant, Spencer, MacRae, and Mann

Staff Members Present: Chief Administrative Officer, Geoff Baker; Deputy Chief
Administrative Officer, Wendy MacKinnon; Municipal Clerk,
Kim Caseley

Visitors: Kyle Reid – Journal Pioneer

1. Calling of Meeting to Order

- 1.1** Mayor Caseley called the meeting to order at 7:00 PM and welcomed Council members, staff, and visitors to the July meeting of Kensington Town Council. Mayor Caseley acknowledged that the land on which we gather is the traditional and unceded territory of the Mi'kmaq First Nation.

2. Approval of Tentative Agenda

- 2.1** *Moved by Councillor Spencer, seconded by Councillor MacRae to approve the tentative agenda for the July 2022 regular meeting of Town Council. Unanimously carried.*

3. Declaration of Conflict of Interest

- 3.1** *Nil.*

4. Delegations / Presentations

- 4.1** *Nil.*

5. Approval of Minutes of Previous Meeting

- 5.1** *Moved by Councillor Gallant, seconded by Councillor Toombs to approve the minutes from the June 13, 2022, regular meeting of Town Council. Unanimously carried.*
- 5.2** *Moved by Councillor MacRae, seconded by Councillor Spencer to approve the minutes from the June 16, 2022 public meeting of Town Council. Unanimously carried.*

6. Business Arising from Minutes

6.1 June 13, 2022 Regular Meeting

- 6.1.1** Councillor Spencer requested an update on the relocation of the Canada Post Community Mailboxes; one of which is located in the Credit Union Centre Parking lot and the other located along Linwood Drive. Mr. Baker confirmed that no updates were available at this time.

6.2 June 16, 2022 Public Meeting

- 6.2.1** *Nil.*

7. Reports

7.1 Chief Administrative Officer Report

- 7.1.1** *Moved by Councillor Gallant, seconded by Deputy Mayor Pickering to adopt the June 2022 CAO Report as prepared by CAO, Geoff Baker. Unanimously carried.*

7.2 Fire Department Statistical Report

- 7.2.1** *Moved by Councillor MacRae, seconded by Councillor Toombs to approve the May 2022 Fire Statistical report as prepared by Fire Chief, Rodney Hickey. Unanimously carried.*

7.3 Police Department Statistical Report

- 7.3.1** *Moved by Councillor Spencer, seconded by Councillor Toombs to approve the May 2022 Police Statistical Report as prepared by Chief Sutherland. Unanimously carried.*

7.4 Development Permit Summary Report

- 7.4.1** *Moved by Deputy Mayor Pickering, seconded by Councillor Spencer to approve the July 2022 Development Permit Summary Report as prepared by Municipal Clerk, Kim Caseley. Unanimously carried.*

7.5 Bills List

- 7.5.1** *Moved by Councillor Mann, seconded by Councillor Spencer to approve the May 2022 Bills in the amount of \$184,103.69. Unanimously carried.*

- 7.5.2** *Moved by Councillor Mann, seconded by Deputy Mayor Pickering to approve the May 2022 Capital Expenditures in the amount of \$10,466.69. Unanimously carried.*

- 7.5.3** *Moved by Councillor Mann, seconded by Deputy Mayor Pickering to approve*

the May 2022 Water & Sewer Utility Bills in the amount of \$10,400.91. Unanimously carried.

7.6 Summary Income Statement

7.6.1 *Moved by Councillor Mann, seconded by Councillor Spencer to approve the Summary Income Statement for the month of May 2022. Unanimously carried.*

7.7 Credit Union Centre Report

7.7.1 *Moved by Councillor Toombs, seconded by Councillor Spencer to approve the Credit Union Centre report for the month of May 2022. Unanimously carried.*

7.7.2 Councillor Spencer requested that a Thank You card be sent to the Credit Union Staff for organizing the Canada Day celebrations.

7.8 Mayor's Report

7.8.1 *Moved by Deputy Mayor Pickering, seconded by Councillor Spencer to approve the Mayor's report for the month of July 2022 as presented by Mayor Caseley. Unanimously carried.*

7.8.2 Councillor Gallant expressed his disappointment with the recent announcement of the closure of the Kensington Scotiabank branch and suggested that the building be maintained and used within the Town. Mayor Caseley confirmed he has spoken to Scotiabank representatives regarding the future use of the building but has nothing tangible to offer at this point in time.

7.9 Federation of PEI Municipalities (FPEIM) Report

7.9.1 FPEIM recently approved their legal services provider and the reappointment of the board committees.

7.10 Heart of PEI Initiative Report

7.10.1 The Heart of PEI is awaiting confirmation on funding from ACOA for the upcoming year.

7.11 Kensington Area Chamber of Commerce (KACC) Report

7.11.1 The KACC board will not meet during the summer months and will return in September.

7.11.2 A summer student has been hired and will be assisting the Chamber office for the summer months.

7.11.3 Councillor MacRae shared information on an upcoming trip opportunity to Ireland, for more details please contact the Chamber office.

7.11.4 The Annual KACC Golf Tournament will be held on September 21, 2022 at Andersons Creek.

7.12 PEI 55 Plus Games

7.12.1 Registration for the games is now open and will close on August 21, 2022.

7.12.2 Volunteers are still welcome, please contact Ivan Gallant for more information.

8. New Business

8.1 Request for Decisions

8.1.1 Development Permit Application – A&R Adventures Inc. (49 Broadway Street N.)

8.1.1.1 *Moved by Deputy Mayor Pickering, seconded by Councillor Toombs*

BE IT RESOLVED THAT Kensington Town Council approve a development permit application for A&R Adventures Inc. for the construction of a fire escape deck and stairway located at 49 Broadway Street N., subject to full compliance with the Town's Development Control Bylaw and all other applicable municipal, provincial, and federal legislation and regulations.

Unanimously carried

8.1.2 Flagpole Repair & Installation

8.1.2.1 *Moved by Councillor Spencer, seconded by Deputy Mayor Pickering*

BE IT RESOLVED THAT Town Council award a contract to Sign Craft PEI for the Town of Kensington Flagpole Repair and Installation project as per their quote dated July 8, 2022 in the amount of \$21,155.69 plus HST.

Unanimously carried.

8.1.3 Town of Kensington Website Re-Design – RFP Evaluation

8.1.3.1 *Moved by Councillor Mann, seconded by Councillor Spencer*

WHEREAS the Town of Kensington issued a Request for Proposals on May 6, 2022 requesting proposals from qualified website developers to complete a website re-development for the Town;

AND WHEREAS Results Marketing Inc. successfully met the requirements of the RFP process and, following a formal and independent review of all proposals, were deemed to provide best value to the town;

BE IT RESOLVED THAT Kensington Town Council award a contract to Results Marketing Inc. to re-develop the Town's website as per their proposal in the amount of \$18, 175.00 plus HST;

BE IT FURTHER RESOLVED that Kensington Town Council authorize the CAO to enter a 5-year contract with Results Marketing for the provision of website hosting and security at a total cost of \$1,912.00 plus HST.

Unanimously carried.

8.1.4 EV Charger Installation

8.1.4.1 *Moved by Deputy Mayor Pickering, seconded by Councillor Spencer*

BE IT RESOLVED THAT Town Council award a contract to Copper Shore Electric for the Town of Kensington Water EV Charger Installation project as per their quote dated June 20, 2022 in the amount of \$68,000 plus HST.

Unanimously carried.

8.1.5 Special Permit Use – 61 Broadway Street North

8.1.5.1 *Moved by Councillor Spencer, seconded by Councillor Toombs*

WHEREAS a request has been made by CHANCES for a Special Permit Use to allow the operation of a childcare facility out of a property located at 61 Broadway Street N. – PID No. 77974;

AND WHEREAS the property is currently zoned General Commercial (C1) within the Town's Development Control Bylaw, which permits Child Care Facilities as a Special Permit Use;

AND WHEREAS staff have evaluated the request against the Town's Development Control Bylaw in consultation with DV8 consulting, and it is found to be in general compliance therewith;

BE IT RESOLVED THAT Kensington Town Council approve a Special Permit Use to operate a childcare facility at 61 Broadway Street N. with the following conditions:

- I. Parents/guardians are to be instructed to use the rear parking lot for regular pick up and drop off and signage should be erected on Broadway St should compliance become an issue, at the cost of the property owner.***
- II. A building permit shall be obtained from the Province of Prince Edward Island for any required renovations and/or the proposed change of use to ensure the building meets National Building Code requirements for a Child Care Facility.***

Unanimously carried.

8.1.6 Development Control Bylaw and Official Plan Amendment - PID No. 762559 (Lot B36 Rosewood Drive)

8.1.6.1 General Land Use Map (Official Plan) Amendment Resolution

Moved by Councillor Mann, seconded by Deputy Mayor Pickering

WHEREAS a request has been received from the owners of a property located along Rosewood Drive (Lot B36 – PID No. 62559) to change the land use designation of the property from its current Single Residential (R1) designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property;

AND WHEREAS a public meeting to solicit comments/feedback from the public was held on June 16, 2022, in accordance with the PEI Planning Act and the Town's Development Control Bylaw;

AND WHEREAS town staff have evaluated the application, in consultation with DV8 Consulting, and are recommending that Town Council proceed with the Official Plan General Land Use Map amendment;

BE IT RESOLVED THAT Kensington Town Council approve and adopt an amendment to the General Land Use Map, that is part of the Town's Official Plan to change the land use designation of Lot B36 (PID No. 762559) located along Rosewood Drive, from its current Single Residential (R1) designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property.

Unanimously carried.

8.1.6.2 First Reading of Development Control Bylaw Amendment

Moved by Councillor Mann, seconded by Councillor Toombs

WHEREAS a request has been received from the owners of a property located along Rosewood Drive (Lot B36 – PID No. 762559) to re-zone their property from its current Single Residential (R1) zoning designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property;

AND WHEREAS a public meeting to solicit comments/feedback from the public was held on June 16, 2022, in accordance with the PEI Planning Act and the Town's Development Control Bylaw;

AND WHEREAS town staff have evaluated the application, in consultation with DV8 Consulting, and are recommending that Town Council proceed with the Development Control Bylaw amendment;

BE IT RESOLVED THAT Kensington Town Council give first reading to amend the Zoning and Subdivision Control Bylaw to re-zone Lot B36 (PID No. 762559) along Rosewood Drive from its current Single Residential (R1) zoning designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property.

Unanimously carried.

8.1.6.3 Approval of First Reading of Development Control Bylaw Amendment

Moved by Councillor Mann, seconded by Councillor Gallant

WHEREAS a request has been received from the owners of a property located along Rosewood Drive (Lot B36 – PID No. 762559) to re-zone their property from its current Single Residential (R1) zoning designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property;

AND WHEREAS a public meeting to solicit comments/feedback from the public was held on June 16, 2022, in accordance with the PEI Planning Act and the Town's Development Control Bylaw;

AND WHEREAS town staff have evaluated the application, in

consultation with DV8 Consulting, and are recommending that Town Council proceed with the Development Control Bylaw amendment;

AND WHEREAS the Bylaw amendment was read a first time at this meeting;

BE IT RESOLVED THAT Kensington Town Council formally approve and adopt first reading to amend the Zoning and Subdivision Control Bylaw to re-zone Lot B36 (PID No. 762559) along Rosewood Drive from its current Single Residential (R1) zoning designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property.

Unanimously carried.

8.2 Other Matters

- 8.2.1** Mayor Caseley noted that Committee of Council does not meet during the months of July and August.
- 8.2.2** Mayor Caseley confirmed that town staff are in the process of having the Town's float updated for the upcoming Annual Harvest Festival Parade.
- 8.2.3** Mayor Caseley encouraged Town Council, staff, and residents to submit nominations for the 2023 Torch Relay for the Winter Canada Games.
- 8.2.4** Deputy Mayor Pickering noted that the Harvest Festival and local businesses are looking for participants in the Youth Ambassador Program.
- 8.2.5** Councillor Gallant noted that vehicles are parking for extended amounts of time along Broadway Street N. Mayor Caseley confirmed that Chief Sutherland is aware of the issue and is working with vehicle owners.
- 8.2.6** Councillor Gallant noted that he has received complaints regarding coyotes in the Pleasant Street area. Chief Sutherland is aware and will contact wildlife services.
- 8.2.7** Councillor Gallant requested that Town Council consider hosting the 55+ Summer Games again in 2023.

Moved by Councillor Gallant, seconded by Councillor Toombs to request that the 2023 55+ Summer Games be held by the Town of Kensington. Unanimously carried.

9. Correspondence

9.1 A Thank You note from the Consolidated Credit Union thanking the Credit Union Centre Staff, the Kensington Police service staff and Mayor Caseley for assisting in the QEES Grade 6 graduation event.

9.2 2022 Annual Senior Surfers Report.

10. In-Camera (Closed session)

10.1 *Nil.*

11. Adjournment

Moved by Councillor MAcRae, seconded by Deputy Mayor Pickering to adjourn the meeting at 7:50 PM. Unanimously carried.

Geoff Baker,
CAO

Rowan Caseley,
Mayor

Town of Kensington		
CAO's Report - August 2022		
Item #	Project/Task	Status
1	Xplornet Internet Antenna	NO UPDATE We have been informed that the antenna installation will begin in the Spring of 2022. There have been delays in securing required materials due to the COVID pandemic.
2	Official Plan and Zoning Bylaw 5 Year Review	The draft Official Plan (OP) is near completion. We anticipate receiving a copy of the draft Future Land Use Map early next week (week of August 8). The map will be provided to Councillors when received. It will require thoughtful consideration at this stage as it will essentially guide land use in the Town over the next five years. The textual portion of the Official Plan should be received in draft form the week of August 15th with a draft Bylaw expected shortly thereafter. Depending on the readiness of the draft documents we are expecting to be able to take the documents to a public meeting in early to mid-September.
3	Business Park Lot Sales	Thus far two lots (lots 21-6 and 21-26) and a portion of a lot has been sold. We have signed a purchase and sale agreement for the disposal of a third lot which is expected to close within the next few weeks.
4	Wastewater Treatment Plant Mechanical Upgrades	All equipment has been installed and is currently being used to control the plant. Issues remain with the lagoon dissolved oxygen sensor which is causing alarm and false reading issues. Staff are working with WSP and the prime contractor to resolve the issues, through either a placement of the sensor in a new location or a replacement of the sensor with a self-cleaning type. At this point in time, the installed system (which remains uncommissioned) is not working in the manner in which it was intended and as such is resulting in increased electrical usage at the plant.
5	Anti-Racism, Inclusion and Diversity Strategy/Psychological Safety in the Workplace	Staff continue to seek out professional development opportunities as it relates to psychological safety in the workplace, inclusion and diversity.
6	Police Study/Service Model Review	NO UPDATE I have begun to put together the formal implementation plan around the Policing Study that was completed in 2020. It is noted that a lot of the recommendations provided in the report have already been implemented, however no formal strategy was put in place at the time to inform Council on the implementation of specific items. I hope to have it completed over the next month or so, as time permits.
7	Woodleigh Drive Sidewalk	Staff have been evaluating the section of sidewalk located between the Commercial Street/Woodleigh Drive intersection and the Tim Hortons Drive Thru. We intend on moving forward with the removal of the sidewalk under the 2022 sidewalk maintenance budget conditional upon the Province of PEI committing to install and paint a paved shoulder along the route. It is felt that this will allow vehicles associated with the drive thru to get a little further off Woodleigh Drive while still allowing pedestrians to circulate safely in the area. We have reached out to the Province in this regard however, we have received no formal commitment at this point.
8	Town Hall Chair Lift	NO UPDATE A request was received from one of the tenants on the lower floor of the Town Hall requesting the Town's consideration of installing a chair lift at the Town Hall, to facilitate easier access for those with mobility issues. While no commitment was provided, staff have begun to research potential solutions, pricing, funding eligibility, etc. Thus far, I have met with the Provincial Elevator Inspector, the Provincial Fire Marshal's Office and a contractor. I expect to receive a contractor quote shortly for the installation of a lift appropriate for the Town Hall. I have also reached out to a structural engineer to discuss how a lift can be installed at the Town Hall.
9	Commercial Street/Broadway Street Intersection	A meeting was held with the Department of Transportation on March 3rd. They continue to investigate potential solutions around this intersection. It was committed that we would receive potential solutions during the month of June however to date, no update has been provided. I have reached out to Provincial staff on several occasions over the summer months with no response being received. Mayor Caseley and I will continue to seek out appropriate solutions to improve safety in this area.
10	Confederation Trail Road Crossings	NO UPDATE We are informed by the Department of Transportation that the requested Confederation Trail crossings will be installed in June, 2022 and may not be located at the exact points where the trail crosses the road. Users will however be directed to the crosswalk locations at the trail termination points. The Broadway Street North crossing may result in the removal of a parking space, which may have a positive impact on the Commercial Street/Broadway Street intersection safety issues. The Province committed to installing the lighted beacons as requested. The Province also agreed to the installation of lighted beacons at the school crosswalk which is also scheduled to be installed in June, 2022. I have reached out to Provincial staff on several occasions over the summer months with no response being received. Mayor Caseley and I will continue to lobby the Provincial Government to seek out appropriate solutions to improve safety in this area.
11	Kensington Business Park	AJL has completed road construction through the Brown property. The asphalt placement is taking longer than expected due to contractor scheduling issues and demand. The lift station and installation of the generator has been commissioned. There are few minor issues with the lift station installation that we continue to work on through WSP.
12	Broadway Street South Water and Sewer Main Extension Project and sidewalk installation (Broadway Street South Infrastructure Upgrades)	An RFD has been circulated with the tentative agenda package recommending Town Council award the project to AJL Ltd. The construction duration is expected to be 13 weeks beginning on September 1, 2022.

Item #	Project/Task	Status
13	Ford Taurus Police Interceptor	The unmarked police cruiser that was involved in the motor vehicle accident along the Blue Shank Road has been returned to the Town. We have received a payout on the vehicle from our insurance company commensurate to the value of the cruiser. The cruiser has been declared surplus and as such options and a recommendation will be brought forward in September regarding its ultimate disposal. The police cruiser currently sits at the rear of the public works yard and has had all police equipment and some other parts removed, i.e. headlights, taillights.
14	Relocation of Town of Kensington Signs	All signs have been relocated and repaired.
15	Atlantic Planners Institute - Kensington Core Area	The Atlantic Planners Institute has reached out to me in regards to allowing the Town of Kensington's Core area to be the subject of a mobile workshop during their annual conference being held on PEI from October 19 - Oct 21. Currently, it is proposed that the workshop would be held on October 19th. The workshop is intended to guide participants (mostly professional planners) in how to use their Main Street Assessment Method to determine what is working well and what could be working better in the community's identified main street area. The results of the assessment will be provided to the Town and can form the basis of further community conversations and or future planning activities. We have agreed to partner with the API to facilitate the workshop. Staff will participate in the workshop along with some other local volunteers. We are excited at the prospect of our core area being used for the conference.
16	Victoria Street East Sidewalk Extension	This project is nearing substantial completion. The sidewalk has been installed and grass has been reinstated. A change order was issued prior to the completion of the project to provide for extending sidewalks through the KISH driveway entrances.
17	Electric Vehicle (EV) Chargers	The contract has been awarded and all parts and equipment are on order. It is expected that work on the project will begin in mid to late September.
18	QUAD Trax ATV Club	NO UPDATE I met with representatives from the QUAD Trax ATV Club on Tuesday, March 22, along with representatives from the Central Coastal Tourism Partnership and the Kensington Area Chamber of Commerce. The ATV Club are seeking ways to provide access to Kensington's core area. They are currently in consultation with the Kensington Police Service. Further information will be provided as discussions progress.
19	Website	The contract for the development of a new website for the Town has been awarded to Results Marketing Inc. out of Charlottetown. Work on the project has begun.
20	Dog Bylaw	NO UPDATE Staff continue to work on a new "Animal Control Bylaw" for the Town to replace the current "Dog Bylaw". Changes are currently being proposed for the Provincial <i>Dog Act</i> which may impact the timeline around the Town's proposed Bylaw.
21	Flag Repair and Replacement	The Flag replacement project was included in a recently approved funding application made to ACOA's Rediscover Main Street funding program which was approved. A new flag has been added to the front of the rail yards area. The Canadian Flag located at the gazebo has been relocated to a more suitable location. The new pole for the Town Hall Flag is on order. Parts required for repairs to other existing flag poles in the town are on order and work will be completed when received.
22	Broadway Street South Sidewalk Replacement	We are working with WSP to ensure that this project proceeds in 2022. The design drawings are near completion and we hope to have the project tendered shortly. There have been some delays in getting the project ready for tender due to commitments to other projects.
23	Parking Area Re-Surfacing	The Town Hall Parking area was resurfaced and an old storm sewer system segment was removed during the week of July 25th.
24	Old Ice Surface - Asphalt Resurfacing	The outdoor ice surface has been resurfaced and the skateboard park furnishings have been placed.
25	KISH Tennis Court Upgrades	The wind breaks have been installed and the facility is seeing increased usage based on the upgrades completed by the Town and the Province. The accessory structure has been constructed and has been placed at the Credit Union Centre to provide for storage of equipment and supplies to support the usage of the area.
26	Canada Post Community Mailboxes	Canada Post has agreed to relocate two community mailbox locations in the Town. The former Barrett Street mailbox (currently located at the Credit Union Centre) will be relocated to the street side of the caged area in front of the CUC. This should provide sufficient space for vehicles to be able to pull completely off the road safely. They have also agreed to relocate the Linwood Drive mailbox to the roadside near Centennial Park where the road is widened. This will allow vehicles to pull completely off the road when picking up mail. It is expected that these changes will be made in late August/early September.
27	ACOA Rediscover Main Street Project	The project applied for includes an expansion of the Summer Music Series, planting of additional gardens in the rail yards area, installation of shade sails, flagpole installation and replacement (various locations), additional banner flags for the rail yards area, expansion of the existing boardwalk for the installation of a local vendor stand and the addition of live wood carving demonstrations by local indigenous artists. We are trying to locate a contractor who can provide the shade sails and recommended locations. A contractor has been secured for the boardwalk extension and work will begin as soon as the materials are received. The planting of additional gardens and installation of a vendor stand will be completed following the boardwalk extension completion, however we are contemplating moving towards planters for the gazebo area as opposed to the establishment of new gardens. The indigenous wood carving should be commissioned shortly.

Item #	Project/Task	Status
28	Credit Union Centre Upgrades	An application was made in May of 2022, as per Council's direction, to the Invest in Canada Infrastructure Program to facilitate various upgrades to the Credit Union Centre, including the installation of a 100 kw solar panel system, replacement of the ice plant, installation of additional heat reclamation units, installation of LED lights over the ice surface, a complete replacement of the rink boards, glass and safety netting, installation of a water purification system, resurfacing of the parking area and painting of the entire facility (outside). I am informed by the Canada-PEI Infrastructure Secretariat that the application was submitted to the Federal government in mid-July for review.
29	PID 762559 - Bylaw and Official Plan Amendment	A RFD has been circulated with the tentative agenda package recommending that Town Council give second reading and formal adoption of the Bylaw amendment as proposed.
30	Road Resurfacing - Various	Several streets in the community have been resurfaced in 2022; including Linwood Drive, Hillside Drive, Walker Drive, Commercial Street E, and Sunset Crescent. I understand that a formal funding announcement for street resurfacing in the area will be made at the Town Hall on Wednesday, August 10th at 10 am. I will provide further detail on this as I receive it.
31	Credit Union Centre Rental Rates	NO UPDATE Staff are currently evaluating the rental rates at the Credit Union Centre. Research is being conducted and further information will be provided to Town Council if any recommendations are to be brought forward.

Kensington Fire Department Occurrence Report 2022

[illegible]

JUNE 2022

The Kensington Fire Department responded to **9** (nine) calls in June and the average attendance for the fire calls was **14**. Following is the breakdown of calls:

Date	Call Details	Location	# Firefighters	# Trucks
June 2 20:28 pm	MVC	Thunder Cove Rd.	13	2
June 18 20:27 pm	MVC	Barbara Weit Rd.	14	3
June 18 12:11 pm	Carbon monoxide alarm	Traveler's Rest	14	3
June 23 19:33 pm	MVC	Blue Shank Rd.	14	1 - stand down enroute
June 25 04:13 am	Commercial fire alarm	New Annan	11	1
June 26 0:52 am	MVC	Springfield	12	3
June 26 23:32 pm	MFR	Kensington	8	stand down at hall
June 28 08:06 am	MFR	Kensington	12	1
June 30 02:53 am	Structure fire	New Annan	24	5

June 7 - Association meeting with 22 present.

June 8 - R1 to Moncton for repairs.

June 21 - Training - traveled to Summerside Fire Hall for an equipment trade show. 14 members attended.

June 22 - Chief Rodney Hickey and Firefighter Aaron Adams attended QEES with 2 fire trucks for a session with the kindergarten classes.

June 24 - Filled a pool in Kensington as part of a Children's Wish initiative.

June 27 - Chief Rodney Hickey and Lieutenant Brad Hickey participated in the grade 6 graduation parade from QEES to the rink with 2 fire trucks. Captain Kevin Gillian had another truck at the intersection to block traffic.

Rodney Hickey
Chief

[illegible]

Police Department Occurrence Report Summary 2022														
Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	YTD	% Total
Fire Prevention Act			1										1	0.25%
Firearm Act			1		1								2	0.50%
Forcible confinement													0	0.00%
Fraud	2	6	2	2	3								15	3.73%
Funeral Escorts	2	1		2	3	2							10	2.49%
Harrassing Communication			1	4	1	2							8	1.99%
Impaired Driver	1	2	1	3	3	3							13	3.23%
Information Files			4	4	3								11	2.74%
Injury Accidents													0	0.00%
Liquor Offences		1	1		1	1							4	1.00%
Litter Act			1										1	0.25%
Lost and Found	3	1	1	1	2	3							11	2.74%
Luring Minors													0	0.00%
Mental Health Act	6	1		2		1							10	2.49%
Mischief	1	1	1	3	3	2							11	2.74%
Motor Vehicle Accidents	4	2	2	3	1	2							14	3.48%
Motor Vehicle Act	7	6	6	8	8	4							39	9.70%
Municipal Bylaws					2	3							5	1.24%
Off Road Vehicle Act		2	1			4							7	1.74%
Other Criminal Code													0	0.00%
Person Reported Missing				1									1	0.25%
Possession of restricted weapon			1										1	0.25%
Property Check			1	2	1								4	1.00%
Resist Arrest													0	0.00%
Roadside Suspensions	1												1	0.25%
Robbery													0	0.00%
Sexual Assaults / Interference													0	0.00%
STEP (Integrated Traffic Enforcement)					1								1	0.25%
Sudden Death													0	0.00%
Suspicious Persons / Vehicle				2	4	2							8	1.99%
Theft Of Motor Vehicle													0	0.00%
Theft Over \$5000						1							1	0.25%
Theft Under \$5000		1	3	1		1							6	1.49%

[illegible]

Police Report June 2022

There were zero alarm calls to report for this month.

Assistance files for the month consisted of:

1. Tree down on power line
2. A call that came in that was an actual civil matter
3. Police stood by to keep peace for property exchange

Kensington Assistance to other agencies:

June 11 – Assist RCMP with a breach file

June 11 – Assist RCMP with assault file

June 19 – Assist RCMP with mental health call

Year To Date Approved Development Permits Summary Report
2022

Development Permit Category	January	February	March	April	May	June	July	August	September	October	November	December		Total	
Addition Residential Deck/Fence/Pools					1									1	
New Multi-unit Family Dwelling				1										1	
New Residential Accessory Structure				1	1	3								5	
New Residential Deck/Fence/Pools				1	1	1								3	
New Semi Detached Dwelling							1							1	
Other Commercial							1							1	
Renovation Residential additions/alterations				3										3	
Residential Deck/Fence/Pools				1										1	
Total:				1										16	

Total Estimated Construction Value
\$3,500.00
\$1,236,600.00
\$28,000.00
\$44,000.00
\$450,000.00
\$5,000.00
\$175,000.00
\$1,942,100.00

DEVELOPMENT PERMITS REPORT

For the period July 08, 2022 to August 05, 2022

Permit Number	Date Permit Issued	PID	Applicant's Name & Address	Telephone Number	Permit Status	Work Type	Type of Construction		Value	Estimated Start	Estimated Finish
			Property Address								
Commercial											
16-22	07/11/2022	77859	A&R Adventures - [REDACTED]	[REDACTED]	Approved	Other	Commercial		\$5,000.00	05/10/2022	05/10/2022
			49 Broadway Street				Description:	Construct new second level fire escape			

Sub Total: \$5,000.00

Total: \$5,000.00



Mailing Address:
55 Victoria Street E
PO Box 418
Kensington, PE
C0B 1M0
Tel: 902-836-3781
Fax: 902-836-3741
Email: CAO@kensington.ca
Website: www.kensington.ca

For Office Use Only	
Permit #:	
Date Received:	June 21/22
Date Approved:	
PEI Planning:	
Permit Fee: \$	100.00 <input type="checkbox"/> Paid

* DOUBLED.

DEVELOPMENT PERMIT APPLICATION

1. Property Information

Project Address: 49 Broadway St Property Tax Number (PID): 77859
Lot No.: N/A Subdivision Name N/A Current Zoning: C1
Are there any existing structures on the property?: ☐ No ☒ Yes, please describe:
Existing legally non-conforming office building of commercial use

Land Purchased from Coulson Realty Ltd. Year Purchased 2016

Location of Development		Property Size	
<input type="checkbox"/> North	<input type="checkbox"/> East Deck/Fire escape	Road Frontage <u>16.49m</u>	Acreage <u>0.14</u>
<input type="checkbox"/> South	<input checked="" type="checkbox"/> West	Property Depth <u>33.77m</u>	Area sq. ft. <u>5985</u>

2. Contact Information

APPLICANT Name: A&R Adventures Inc. Address: [REDACTED]
Phone: [REDACTED] Cell: [REDACTED]
Email: [REDACTED] Postal Code: [REDACTED]
Same as Above: ☒
Name: _____ Address: _____
OWNER Phone: _____ Cell: _____
Email: _____ Postal Code: _____
CONTRACTOR, ARCHITECT OR ENGINEER Name: Paynter Brothers Contracting Ltd. Address: [REDACTED]
Phone: [REDACTED] Cell: [REDACTED]
Email: [REDACTED] Postal Code: [REDACTED]

3. Infrastructure Components

Water Supply ☐ Municipal ☐ Private Sewage System ☐ Municipal ☐ Private

Entrance Way Permit (Department of Transportation and Infrastructure Renewal) ☐ Attached

4. Development Description

☐ New Building ☐ Renovate Existing ☐ Addition ☐ Demolition ☒ Other Deck/Fire Escape

<input type="checkbox"/> Single Family (R1)	<input type="checkbox"/> Commercial (C1)	<input type="checkbox"/> Public Serv./Institution (PSI)	<input type="checkbox"/> Other
<input type="checkbox"/> Semi-Detached (R2)	<input type="checkbox"/> Industrial (M1)	<input type="checkbox"/> Accessory Building	
<input type="checkbox"/> Multi-Unit Res. (R3)	<input type="checkbox"/> Mini Home (RM1)	<input checked="" type="checkbox"/> Decks/Fence/Pools	

Type of Foundation	External Wall Finish	Roof Material	Chimney
<input checked="" type="checkbox"/> Poured Concrete	<input checked="" type="checkbox"/> Vinyl Siding	<input checked="" type="checkbox"/> Asphalt	<input type="checkbox"/> Brick N/A
<input type="checkbox"/> Slab	<input type="checkbox"/> Wood Shingles	<input type="checkbox"/> Steel	<input type="checkbox"/> Prefab
<input type="checkbox"/> Pier	<input type="checkbox"/> Steel	<input type="checkbox"/> Other	<input checked="" type="checkbox"/> Other
<input type="checkbox"/> Other	<input type="checkbox"/> Other		

Number of Stories	Number of Bedrooms	Number of Bathrooms	Ground Floor (ft)
<u>2</u>	<u>0</u>	<u>2</u>	Width _____ Length _____

Detailed Project Description: Creation of a deck and stairs to act as a fire escape for the back end of the building

Estimated Value of Construction (not including land cost): _____

Projected Start Date: May 2022 Projected Date of Completion: May 2022

Please provide a diagram of proposed construction:

- a) Draw boundaries of your lot.
- b) Show existing and proposed buildings.
- c) Indicate the distance between buildings.
- d) Show location of driveway.
- e) Indicate distance to property lines.

See attached.

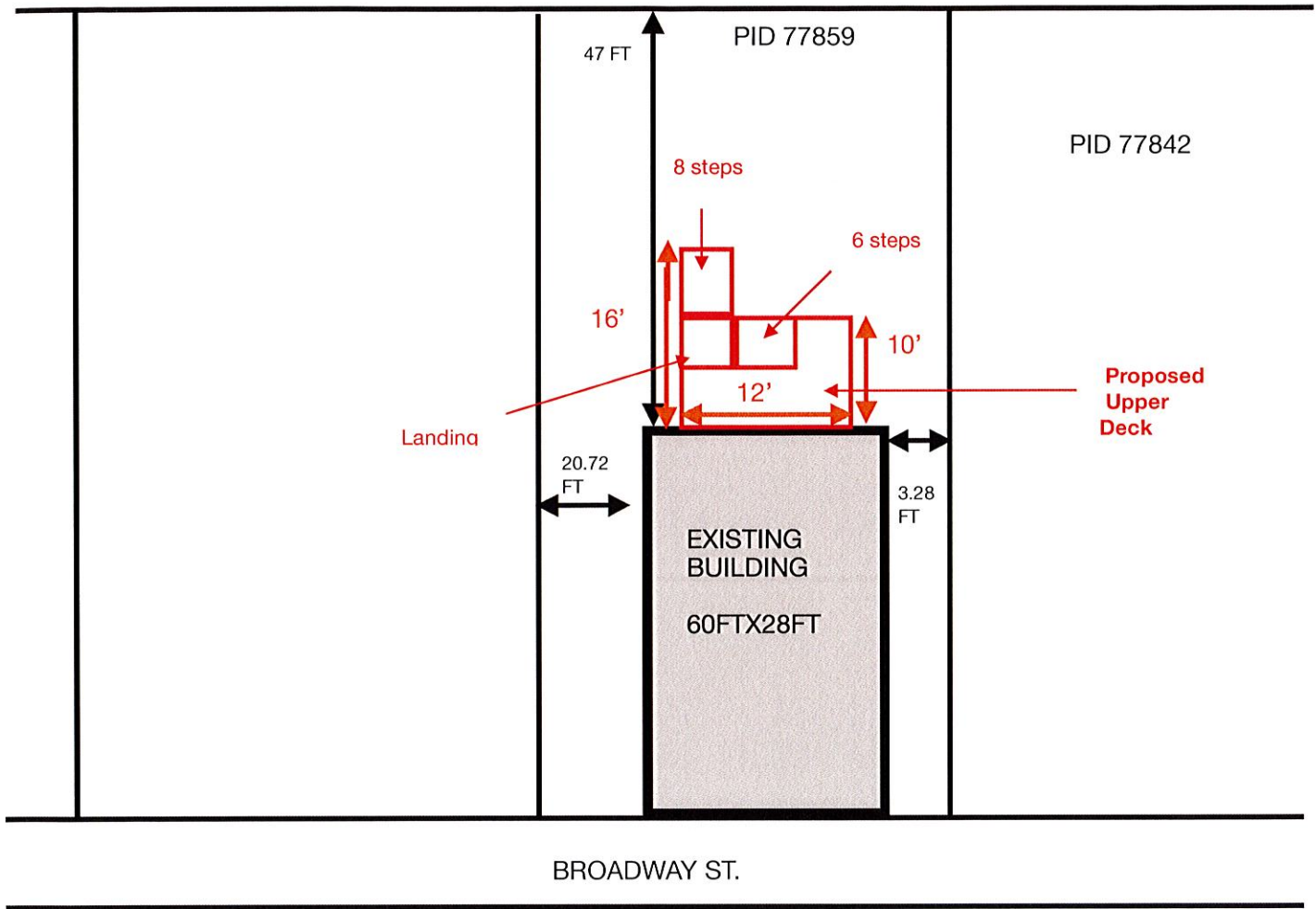
I DO SOLEMNLY DECLARE & CERTIFY:

1. That I am the Authorized Agent of the Owner/the Owner named in the Application for a permit hereto attached.
2. That the information contained herein, the attached plans, and other included documents are true and complete and the development will be constructed or carried out in accordance with the plans and specifications as submitted.
3. Providing that the Town of Kensington and/or its agents or employees are acting in good faith in the administration of the Town Bylaws, I waive all rights of actions against Town of Kensington and/or its agents or employees in respect of any damages which may be caused through the operation of any provision(s) of its Bylaw or the revoking of a permit for any cause or irregularity or nonconformity with the Bylaw or regulations adopted by the Town of Kensington.
4. I assume responsibility for damage to any Town property including: sidewalks, curbs, streets or other infrastructure and I irrevocably agree to bear the cost of remediation repair or replacement of any Town damaged by myself or by any contractors, agents or employees working on the property which is the subject of this application to the complete satisfaction of the Town of Kensington.
5. Where services are available, properties must be serviced by municipal water and sewer in accordance with the Town of Kensington Water and Pollution Control Corporations minimum standards. I am responsible for costs associated with the connection as outlined in the IRAC (Island Regulatory and Appeals Commission) Regulations. Any connection to water or sewer must be inspected by the Town of Kensington Public Works Department and 24 hrs notice must be given and inspections must be made between the hours of 8 am and 5 pm, Monday to Friday.
6. That I know of no reason why the permit should not be granted in pursuance of the Application, and I make this declaration conscientiously believing it to be true.
7. I agree to comply with all laws of Canada, Province of Prince Edward Island, and Bylaws of the Town of Kensington pertaining to the construction/and use of the development applied for herein
8. I understand that all Development Permits are valid for 12 months and subject to a 21-day appeal period following approval as stated under the PEI Planning Act.

Further, I realize that the payment of monies for this application does not constitute approval of a permit nor approval to commence any part of the work applied for.

Signature of Applicant

Date: May 11/22



Town of Kensington Bills List June 2022

ADL Foods	2490106P	\$93.24
ADL Foods	2492282 P	\$206.43
Aliant	INV9101935	\$30.48
Aliant	INV9100264	\$345.45
Andrew Griffin	JUNE 2022 RRSP	\$863.32
Auto Trim Design of PEI	POLICE CAR DECALS	\$299.00
Bell Mobility	2-405707	\$201.25
Bev Campbell	CANADA DAY CAKES 22	\$150.00
Bev Semple	CROSSWALK JUNE 22	\$80.00
Biggar Overhead Doors	REPAIR FIRE BAY DOORS	\$597.43
Biggar Overhead Doors	REPAIR FIRE DOOR OPENER	\$178.25
Black & McDonald Limited	80-1320595 ICE PLANT R&M	\$2,096.67
Brenda MacIsaac	JUNE 2022 RRSP	\$468.12
Building Blocs Home Improvements	FREIGHT SHED DOOR	\$2,293.69
Building Blocs Home Improvements	GAZEBO FLOOR REPLACEMENT	\$4,085.11
Bunny Trails Pet Ranch	CANADA DAY PETTING ZOO	\$250.00
CIBC Securities Inc	JUNE 2022 RRSP	\$632.64
Combat Computer Inc	COPIES	\$188.37
Combat Computer Inc	POL - MS 365 & EMAIL SET UP	\$137.20
Combat Computer Inc	POL - MS 365 & EMAIL SET UP	\$137.20
Combat Computer Inc	POL - CAMERA MAINTENANCE	\$441.30
Combat Computer Inc	DOMAIN RENEWAL	\$28.74
CPKN Network Inc	POL -LRA COURSE	\$28.75
CPKN Network Inc	POL - CPIC QUERY NARRATIVE COURSE	\$57.50
Credit Union Financial Management	JUNE 2022 RRSP	\$1,349.64
Canadian Union of Public Employees	JUNE 2022 UNION DUES	\$656.41
D.W Mechanical	PW BOB CAT REPAIR	\$92.00
D.W Mechanical	PW KUBOTA REPAIR	\$46.00
Darcy Ellis	CANADA DAY SINGER	\$175.00
Eastlink	18423701	\$23.00
Eastlink	18423466	\$109.19

Eastlink	18462950	\$157.44
Eastlink	18475563	\$114.94
Eastlink	18422944	\$900.07
Elizabeth Hubley	JUNE 2022 RENT	\$805.00
Emily Smith	CANADA DAY SINGER	\$75.00
Federation of PEI Municipalities Inc.	FPEIM ANNUAL MEETING	\$517.50
Friends & Flowers	CANADA DAY FLOWERS	\$115.00
Geoff Baker	JUNE 22 MILEAGE	\$305.28
Glenn Steele	JUNE 2022 EXPENSE	\$329.69
HMS Office Supplies Ltd	POL OFFICE CHAIR	\$769.35
Hummingbird Creative	STREET NAMES ADDED TO BP SIGN	\$138.00
Hummingbird Creative	LIBRARY LOGO ADDED TO TOWN SIGN	\$448.50
Irving Oil	34504870	\$235.66
Irving Oil	226037	\$414.88
Irving Oil	234140	\$278.20
Irving Oil	547968	\$160.26
Irving Oil	34525159	\$191.45
Irving Oil	92628	\$813.20
Irving Oil	34533419	\$748.48
Irving Oil	34540834	\$445.55
Irving Oil	34547747	\$257.04
Irving Oil	523983	\$1,074.68
Island Coastal Services Ltd	VIDEO TO LOCATE MANHOLE	\$402.50
Island First Aid Service	TOWN HALL FIRST AID KIT	\$325.44
Island First Aid Service	POL- FIRST AID KIT	\$265.63
Island First Aid Service	PW - FIRST AID KIT	\$177.07
Island First Aid Service	CUC- FIRST AID KIT	\$238.40
Island First Aid Service	EVK POOL- FIRST AID KIT	\$49.44
Island Hot Tubs & Pools	EVK POOL - CHEMICALS	\$776.18
Jack Spencer	CROSSWALK JUNE 22	\$90.00
Jamie Perry	CROSSWALK JUNE 22	\$240.00
Josh Hood	CANADA DAY SOUND	\$500.00
Kensington Ball Field Committee	BALLFIELD DONATION	\$100.00
Kensington Country Store	02810176705	\$16.17

Kensington Country Store	02810178705	\$100.62
Kensington Country Store	02810179062	\$100.56
Kensington Country Store	02810179758	\$31.37
Kensington Food Basket	FOOD BASKET CANADA DAY	\$438.99
Kent Building Supplies	3001321961	\$22.95
Kent Building Supplies	3001344416	\$143.93
Kent Building Supplies	3001345430	\$85.08
Kent Building Supplies	3001357314	\$46.14
Kent Building Supplies	3001361743	\$57.37
Kent Building Supplies	3001409075	\$60.44
Kent Building Supplies	3001451475	\$224.22
Kent Building Supplies	3001450061	\$330.87
Kent Building Supplies	3001461931	\$40.91
Kent Building Supplies	3001466583	\$11.03
Kensington Intermediate Senior High School	JUNE 2022 YR END	\$250.00
Kool Breeze Farms	TRAIN STATION - BLUE GRAVEL	\$282.67
Landon Yuill	LAW REFRESH TRAINING	\$76.06
Landon Yuill	TRAINING LUNCH	\$15.00
Lauren Folland	POOL SUPPLIES	\$63.23
Lewis Sutherland	JUNE 2022 RRSP	\$1,070.10
Maritime Electric	TOWN HALL JUNE 22	\$1,326.72
Maritime Electric	RINK JUNE 22	\$2,824.89
Maritime Electric	FIRE HALL JUNE 22	\$536.48
Maritime Electric	SPEED RADAR JUNE 22	\$110.70
Maritime Electric	CAR CHARGER JUNE 22	\$244.71
Maritime Electric	WORKSHOP JUNE 22	\$117.12
Maritime Electric	POL CAMERAS JUNE 22	\$13.42
Maritime Electric	TRAIN STAT JUNE 22	\$1,123.21
Maritime Electric	FREIGHT SHED JUNE 22	\$215.02
Maritime Electric	EVK POOL JUNE 22	\$151.55
Maritime Electric	CANTEEN CUC JUNE 22	\$38.58
Maritime Electric	SENIOR CENT JUNE 22	\$88.72
Maritime Electric	LIBRARY JUNE 22	\$105.93
Maritime Electric	CUC SIGN JUNE 22	\$133.04

Maritime Electric	ST LIGHTS JUNE 22	\$2,849.94
Malpeque Bay Credit Union	JUNE 2022 RRSP	\$1,558.40
McInnes Cooper	LEGAL SERVICES	\$3,348.19
Medacom Atlantic Inc	013744	\$261.63
Minister of Finance	ELECTION SHARING AGREEMENT	\$150.00
MJS Marketing & Promotions	CANADA DAY AD	\$799.25
Orkin Canada	C-3486539	\$53.02
Orkin Canada	C-3486512	\$31.05
Orkin Canada	C-3486515	\$105.46
Par-T-Perfect PEI	CANADA DAY	\$641.50
Petty Cash	JUNE 2022	\$304.75
Princess Auto	FIRE EQUIPMENT	\$208.04
Princess Auto	PW WATER HOSE & NOZZLE	\$93.94
Queen Elizabeth Elementary School	JUNE 2022 YR END	\$150.00
Royal Canadian Mounted Police	1800000275 PROS ANNUAL FEE	\$6,667.43
Recreation PEI Inc	CUC RINK BASIC COURSE	\$459.98
Rhinnah Stokes	2022 SCHOLARSHIP	\$1,000.00
Robert Wood	MAY MILEAGE 22	\$188.00
Robert Wood	JUNE MILEAGE 22	\$201.40
Rogers Plumbing & Heating	POL- REPAIR FAUCETS IN GARAGE	\$253.75
Rowan Caseley	MAY EXPENSES	\$230.30
Safety Source Fire	FIRE- BATTERY CHARGER	\$1,115.50
Safety Source Fire	FIRE - 6FT FIBERGLASS PIKE POLE	\$143.75
Saltwire Network	PUBLIC MEETING AD	\$563.50
Mikes Independent	PW- SHOP WATER	\$11.80
Scotia Securities	JUNE 2022 RRSP	\$2,075.10
Scotiabank Visa	EVK MINI FRIDGE	\$298.99
Scotiabank Visa	KIDS HELP PH JUNE 22	\$50.00
Scotiabank Visa	HARVEST FESTIVAL MEETING - THAI EXPRESS	\$75.98
Scotiabank Visa	HARVEST FESTIVAL MEETING - GRECO	\$78.81
Scotiabank Visa	KEEN RAMPS - CUC SKATE PARK DEPOSIT	\$4,510.60
Scotiabank Visa	TIM HORTONS WCB MEETING	\$12.05
Scotiabank Visa	POL- UNIFORM PANT	\$168.86
Scotiabank Visa	BIKE RODEO 22	\$6,306.60

Scotiabank Visa	CARGO MAT POL SUV	\$40.24
Scotiabank Visa	35636 FISHING DERBY PRIZES	\$896.72
Scotiabank Visa	ZOOM JUNE 2022	\$23.00
Scouts Canada	CANADA DAY BALLONS	\$250.00
Sisters Cleaning	707084 TOWN HALL JANITORIAL	\$1,092.05
Sisters Cleaning	707096 TOWN HALL JANITORIAL	\$273.75
Somerset Gardens Inc.	TOWN FLOWERS	\$1,225.15
Spring Valley Building Centre Ltd	230967	\$27.46
Spring Valley Building Centre Ltd	975956	\$45.89
Spring Valley Building Centre Ltd	230992	\$60.94
Spring Valley Building Centre Ltd	CUC- MAINTENANCE PAINT	\$351.82
Spring Valley Building Centre Ltd	CUC- EVENTS BBQ	\$575.00
Staples	CUC- OFFICE SUPPLIES	\$243.20
Summerside Practicar	POL- SUV RENTAL	\$1,126.20
Suncor Energy Products Partnership	MAY 2022 POL GAS	\$1,110.92
Superior Sanitation	0000783460	\$251.85
Superior Sanitation	0000783459	\$280.60
Superior Sanitation	0000783458	\$224.25
Superior Sanitation	0000783457	\$98.90
T & K Fire Safety Equipment Ltd	FIRE- EQUIPMENT	\$292.73
Telus	JUNE 2022	\$1,262.67
Uline	PARK BENCHES/GARBAGE CANS/MATS	\$3,937.41
Vail's Fabric Services Ltd	401917	\$215.46
Vail's Fabric Services Ltd	403717	\$215.46
Valerie Henderson	32 PLANTING FLOWERS	\$650.00
Valerie Henderson	33 PLANTING FLOWERS	\$80.00
Subtotal		<u>\$89,118.25</u>
Payroll		\$148,036.29
Subtotal Bills and Payroll		<u>\$237,154.54</u>

Capital

Auto Trim Design of PEI	POLICE SUV DECALS	\$1,109.75
Black & McDonald Limited	80-1316644	\$23,931.50
Copper Shore Electric	1454 50% DEPOSIT - EV CHARGERS	\$39,100.00
Spence Communications and Custom Lighting	3235	\$18,805.92
T & K Fire Safety Equipment Ltd	273209 5 CARBON CYLINDERS FOR BA	\$12,366.47
WSP Canada Inc	1111089 VICTORIA ST E SIDEWALK	\$215.63
WSP Canada Inc	1118839 BROADWAY ST SIDEWALK	\$925.75
WSP Canada Inc	1118843 BROADWAY ST SIDEWALK	\$146.63
WSP Canada Inc	1111111 W&S EXT BROADWAY ST	\$12,420.00
WSP Canada Inc	1118855 W&S EXT BRAODWAY ST	\$9,346.72
WSP Canada Inc	1119929 BUSINESS PARK	\$8,383.50
WSP Canada Inc	1119958 LAGOON MECHANICAL	\$396.75
WSP Canada Inc	1119967 LAGOON MECHANICAL	\$301.88
Subtotal Capital		<hr/> \$127,450.50

Total Bills

\$364,605.04

Water and Sewer Utility Bills List June 2022

Aliant	INV9072303	\$138.46
Aliant	INV9101635	\$190.16
Curran & Briggs Ltd	49443 WATER VALVE BARRETT ST	\$776.93
Kensington Country Store	CHLORINE	\$454.99
Kensington Country Store	CHLORINE	\$454.99
Maritime Electric	WELL 3 JUNE 22	\$566.17
Maritime Electric	S TREATMENT JUNE 22	\$3,026.87
Maritime Electric	BP SEWAGE LIFT	\$44.18
Maritime Electric	LIFT STATION JUNE 22	\$186.83
Maritime Electric	WATER TOWER JUNE 22	\$127.88
Maritime Electric	PUMP 2 JUNE 22	\$286.67
Maritime Electric	PUMP CONTROL JUNE 22	\$161.87
Maritime Electric	SEWAGE PUMP JUNE 22	\$85.05
Maritime Electric	PUMP 1 JUNE 22	\$919.25
Minister of Finance	DOUG & LES EXAM FEE	\$200.00
Minister of Finance	220602142 WAT ANALYSIS	\$368.00
Island Coastal Services Ltd	31 BROADWAY VIDEO SEWER	\$333.50
Rogers Plumbing & Heating	WATER METER REPLACEMENT	\$92.00
Total W&S Bills		\$8,413.80

TOWN OF KENSINGTON
Income Statement Comparison of Actual to Budget for June 2022

GENERAL REVENUE	Current Month			Year to Date			Annual Budget	% Full Year
	Actual	Budget	Variance	Actual	YTD Budget	Variance		
General Revenues	\$213,659.75	\$195,553.00	\$18,106.75	\$411,576.19	\$402,159.00	\$9,417.19	\$1,420,136.00	29%
Police Service	\$22,563.53	\$34,251.00	-\$11,687.47	\$73,762.59	\$89,003.00	-\$15,240.41	\$339,618.00	22%
Town Hall Rent	\$8,495.82	\$10,000.00	-\$1,504.18	\$25,787.48	\$27,000.00	-\$1,212.52	\$105,800.00	24%
Recreation	\$1,785.00	\$1,000.00	\$785.00	\$1,785.00	\$1,000.00	\$785.00	\$4,500.00	40%
Sales of Service	\$35,274.35	\$38,825.00	-\$3,550.65	\$101,992.03	\$112,575.00	-\$10,582.97	\$412,700.00	25%
Subtotal Revenue	\$281,778.45	\$279,629.00	\$2,149.45	\$614,903.29	\$631,737.00	-\$16,833.71	\$2,282,754.00	27%
GENERAL EXPENSES								
Town Hall	\$12,143.76	\$12,688.00	-\$544.24	\$51,276.75	\$39,462.00	\$11,814.75	\$155,930.00	33%
General Town	\$42,627.49	\$49,539.00	-\$6,911.51	\$200,358.86	\$222,236.00	-\$21,877.14	\$601,802.00	33%
Police Department	\$68,176.55	\$68,753.00	-\$576.45	\$164,197.83	\$159,807.00	\$4,390.83	\$612,005.00	27%
Public Works	\$31,361.84	\$53,527.00	-\$22,165.16	\$84,184.10	\$127,433.00	-\$43,248.90	\$439,805.00	19%
Train Station	\$9,887.62	\$4,495.00	\$5,392.62	\$18,923.94	\$14,355.00	\$4,568.94	\$60,290.00	31%
Recreation & Park	\$20,364.90	\$18,375.00	\$1,989.90	\$30,782.36	\$32,025.00	-\$1,242.64	\$106,905.00	29%
Sales of Service	\$17,574.49	\$22,691.00	-\$5,116.51	\$44,062.55	\$54,693.00	-\$10,630.45	\$207,619.00	21%
Subtotal Expenses	\$202,136.65	\$230,068.00	-\$27,931.35	\$593,786.39	\$650,011.00	-\$56,224.61	\$2,184,356.00	28%
Net Income (Deficit)	\$79,641.80	\$49,561.00	\$30,080.80	\$21,116.90	-\$18,274.00	\$39,390.90		
Credit Union Centre								
Credit Union Centre Revenue	\$16,605.23	\$25,250.00	-\$8,644.77	\$83,586.30	\$61,250.00	\$22,336.30	\$395,000.00	21%
Credit Union Centre Expenses	\$30,706.99	\$24,890.00	\$5,816.99	\$98,554.58	\$71,184.00	\$27,370.58	\$386,958.00	25%
Net Income (Deficit)	-\$14,101.76	\$360.00	-\$14,461.76	-\$14,968.28	-\$9,934.00	-\$5,034.28		
Fire Department								
Fire Revenues	\$23,557.00	\$23,557.00	\$0.00	\$80,671.00	\$70,671.00	\$10,000.00	\$282,684.00	29%
Fire Department Expenses	\$23,741.22	\$22,606.00	\$1,135.22	\$73,833.26	\$69,418.00	\$4,415.26	\$313,322.00	24%
Net Income (Deficit)	-\$184.22	\$951.00	-\$1,135.22	\$6,837.74	\$1,253.00	\$5,584.74		
Consolidated Net Income (Deficit)	\$65,355.82	\$50,872.00	\$14,483.82	\$12,986.36	-\$26,955.00	\$39,941.36		
							\$75,802.00	
Water and Sewer Utility								
Water & Sewer Revenue	\$57,154.16	\$56,665.00	\$489.16	\$168,104.71	\$169,995.00	-\$1,890.29	\$687,180.00	24%
Water & Sewer Expenses	\$59,437.44	\$60,134.00	-\$696.56	\$178,686.90	\$181,302.00	-\$2,615.10	\$743,308.00	24%
Water & Sewer Net Income (Deficit)	-\$2,283.28	-\$3,469.00	\$1,185.72	-\$10,582.19	-\$11,307.00	\$724.81		

TOWN OF KENSINGTON – MEMORANDUM

TO: MAYOR AND TOWN COUNCIL, CAO

FROM: ROBERT WOOD, CUC MANAGER

DATE: JUNE 2022

SUBJECT: JUNE 2022 - CREDIT UNION CENTRE REPORT

ATTACHMENT: STATISTICAL REPORT

JUNE 2022

Fitplex

- Hours of operation are 5:00 am – 10:00 pm daily.
- Staffed Hours are Monday to Friday 4:00 pm-8:00 pm
- Day passes are allowed.
- No number restrictions in June and we allowed to operate at full capacity.
- Touch up painting in change rooms and gym area was done in June
- Dumb-bell benches are re-upholstered and back on floor
- 55 Plus Games staff member is using an office space in the gym back office area.

Arena

- Black and MacDonald has installed the new condenser and Mid Isle Electric installed the electrical lines and panel box upgrade for the larger unit. Provincial inspectors were in and certified the new unit and it was pressure tested and ready for Ice season.
- Tentative opening date for arena will be approx. Sept 15 ,2022
- Painting and general repairs are ongoing inside the arena.
- Skateboard Park equipment ordered are shipped with arrival early July
- Paving expected in mid July for Old Ice Surface area

Kensington Cash Draw

• June 3	196.00
• June 10	196.00
• June 17	194.00
• June 24	204.00
Total	790.00

Ball Fields

- The ballfield fencing has been straightened the bars and replaced the top cap on both fields where needed.
- Don Clark Infield was leveled where infield and outfield meet and slope reduced.
- Minor ball and Men's Rec League have the fields booked for the summer and KISH is playing 1 playoff game in June.

Senior Center

- Pollinator garden has been created by the senior centre by Kensington North Watershed

Tennis Courts KISH

- Wind screens have all been installed and new tennis \ pickle ball nets installed
- Tennis posts have been repaired and painted as well
- The Basketball nets have been replaced
- Usage has been steady in the evenings and the school has been using them frequently during the day
- Central Region Sport is hosting every Tuesday for 8 weeks from 4.30-5.30 Try Sports night at this location with Basketball and Tennis in June and Flag Football in July.

Central Community PEI Navigator

- Nothing to report

Other Events Hosted

- Fishing Derby was held on June 4th
- Bike Rodeo was held on June 11th
- Mutt Show was held on June 25th
- Grade 6 Graduation was held on June 27th

Upcoming Events

- July 1 Canada Day Celebrations
- July 23-24 Danny Hughes Memorial Men's rec Ball Tournament
- Aug 7 and Aug 13 Kensington Minor Ball Tournaments
- Aug 20-27 Kensington Harvest Festival

Town of Kensington Credit Union Centre Monthly Statistical Data

2022

Category	January	February	March	April	May	June	July	August	September	October	November	December	YTD
Fitplex													
Total Members	220	225	232	240	245	248							1410
Attendance	821	1078	1230	1250	1200	1140							6719
Day Passes Sold	0	0	12	15	15	20							62
Memberships Sold	16	35	40	38	35	39							203
Monthly Payment Memberships	55	55	57	55	55	57							334
Arena													
Hours Rented	119	138	160	120	0	0							537
Preschool (Free)	0	4	4	4	0	0							12
Adult Skate	0	4	4	4	0	0							12
Donated Ice Time	0	0	0	0	0	0							0
Total Hours Rented	115	146	168	128	0	0							557
Storm Days\Covid Shutdown (no rentals)	18	3	0	0	0	0							21

2021

[illegible]

We would like to thank our sponsors for their generous support this summer; without their support, these events would not be able to happen!



Kensington Harvest Festival

August 20-26, 2022

Farmers, Celebrating our Roots!

Brought to you by:

FRENCH RIVER GOLF COURSE | CLINTON VIEW LODGE | MARITIME CONSTRUCTION
 RED SANDS GOLF COURSE | KENSINGTON AGRICULTURAL SERVICES | SCOTIABANK | KMP
 SHIP TO SHORE | D. ALEX MACDONALD | CO-OP COUNTRY STORE | MEL'S PETRO CANADA
 GRECO | ISLAND STONE PUB | EAST COAST FURNITURE | SAFE DRIVERS PEI | ADVANCED RENTALS
 KENSINGTON VET CLINIC | ENMANS AUDIO | HICKEY & HYNDMAN INSURANCE | MID-ISLE FARMS
 GREEN GABLES | ANDERSON'S CREEK GOLF COURSE | KOOL BREEZE FARMS | CURRAN & BRIGGS
 CASELEY'S BRIDAL BOUTIQUE | THOMPSON WELL DRILLING | CAPITAL "T" ELECTRIC
 NOONAN PETROLEUM | SHARPE CONSTRUCTION | COUNTYLINE COURIER | MALLETT EXTERIORS
 MOUNTAIN WOODWORKING | SUMMERSIDE CHRYSLER DODGE | NAPA AUTO PARTS
 TRAVELLERS REST MINI HOMES LTD | MARY'S BAKE SHOPPE | BEAIRSTO INSURANCE
 NOVUS GLASS | COMMERCIAL CONSTRUCTION | ISLAND SOFTENERS | MARITIME PRIDE EGGS
 TOWNSHIP CHEVROLET BUICK GMC | EGG FARMERS OF PEI | CALLBECKS HOME HARDWARE
 CENTENNIAL AUTO GROUP | WET N' WILD CASE WASH | FAMILY & FRIENDS RESTAURANT



Clark Insurance
 Member of the Huestis Insurance Group



Saturday August 20, 2020

Sponsored by Castle Building Supplies

- 7:30 - 10:30 am **Shriner's Pancake Breakfast**, Kensington Legion
- 8:30 am **49th Annual Malpeque Bay Credit Union 25km Foot Race**
Start at Church of Scotland, Stanchel
- 2:00 - 3:00 pm Mammoth Street Parade – Theme: Farmers, Celebrating our Roots!
(in case of inclement weather, Rain Date: Sunday at 2:00 PM)
- 3:00 – 5:00 pm **Kensington Fire Dept Open House & Free BBQ**
Youth Fire Hose Target Practice
Fire Trucks Rides
Location: Kensington Fire Hall (16 Gerald McCarville Drive)
- 4:00 - 7:00 pm **Washer Toss Tournament** | Free Mussels & Live Entertainment
Location: Kensington Legion – Sponsored by Shriners

Sunday August 21, 2022

Sponsored by Tim Hortons

- 8:30 am **Harvest Festival Golf Tournament**
Sponsored by PE AQUA FARMS
4 person Scramble- Eagles Glenn Golf Course \$400.00 per team
Includes Cart, Green Fee and Meal. Prizes for everyone
On Course food and beverages Sponsored by Kensington Food Basket and Ship to Shore Restaurant
Prizes – Electric Lawn Mower (Sponsored by Kensington Country Store) & Propane BBQ (Sponsored by Castle Spring Valley Building Centre)
Longest drive, Closest to the Hole, Straightest Shot, Closest to the PE Aqua Farms Box, Closest to the Kensington Food Basket Shopping Cart, and more!
To register email: Robert at cuc@kensington.ca
- 9:30 am **Ecumenical Service** – Rev. Robert McCarthy
Location: Credit Union Centre - 25 Garden Drive
- 6:00 – 9:00 pm **KACC K'Town Trivia Night: Nostalgia Edition**
Pre-Registration Required | Teams of 6 or less
Call 902-836-4378 or message C&B Corner Café on Facebook
Cost: By donation to Harvest Festival Youth Ambassador Scholarship
Location: C&B Café (55 Broadway Street N)

Monday August 22, 2022

Sponsored by Atlantic Lottery

- 9:00 - 11:30 am **WI Vegetable Exhibit / WI Handicraft Exhibit Registration**
- 9:00 - 12:00 pm **Reg Hiltz Memorial Flower Show**
- 6:00 pm **Flower Show Awards**
- 6:30 - 7:30 pm **Savour the Flavors Sampling**
- 6:30 pm **Opening Ceremonies**
Special Guest – Craig Savill
Clair Mayhew Volunteer of the Year Award Presentation

- 7:00 pm **Youth Ambassador - Talent Portion**
- 7:45 pm **Youth Ambassador - Formal Portion**
- 8:00 pm **Live Entertainment with Allison Blaquiere**
- 8:45 pm **Youth Ambassador Winner Ceremony**

Tuesday August 23, 2022

Sponsored by Murphy's Pharmacy & Building Blocs

Free Admission Night! Sponsored by Fun-Times Enterprises

- 12:00 - 4:00 pm **Auction Card Party** – Credit Union Centre
Sponsored by Murphy's Pharmacy & Malpeque Bay Credit Union
Hosted by Kensington Lions Club
- 4:00 - 8:30 pm **Skateboarding Demos & Giveaways with Town City**
- 5:00 - 9:00 pm Fry Wagon Fundraiser and BBQ Kensington Minor Ball
- 6:00 - 8:30 pm **Minor Ball Double Header** Ballfields
- 6:00 - 8:30 pm **Softball Allstar Game and Skills Derby**
- 6:30 - 7:00 pm **Lady Slipper Step Dancers**
- 7:00 - 8:30 pm **PEI Youth Talent Competition** (Credit Union Centre)
Sponsored by PEI Mutual

Wednesday August 24, 2022

Sponsored by Standard Aero & Cavendish Farms

- 1:00 - 8:30 pm **3 on 3 Ball Hockey Tournament**
\$50.00 per team | BBQ Included
Team Ages: 8-10 & 11-13
To register email: gyoung@kensington.ca
- 6:00 – 8:00 PM Kelley Mooney – Free Concert
Kensington Railyards Gazebo

Friday August 26, 2022

Sponsored by Basin View Seafood

- Tickets: \$23.00 each | Tables of 4, 6, 8 available
Reserve Tickets: 902-836-3509 or email gyoung@kensington.ca
- 7:00 - 8:30 pm Ultimate Fisher Challenge
- 9:00 - 10:00 pm Jimmy Flynn and Terry Kelly
- 10:00 - 10:30 pm Ultimate Fishers Challenge
- 10:45 - 11:45 pm Jimmy Flynn and Terry Kelly

*Event Location: 25 Garden Drive
Credit Union Centre, Kensington*

Daily Admission

Monday

Family \$15.00
Adult \$7.00
Senior/Student \$5.00
Children under 10 \$3.00
Preschool Free

For more information

Call: 902-836-3509
Visit: www.kensington.ca
Email: cuc@kensington.ca



Mayor's Report to Town Council

August 8, 2022

The Mayor's Report to Town Council is an opportunity for the Mayor to provide feedback to Council, Staff, Residents, and other interested Stakeholders about activities of the Mayor on their behalf since the last Council meeting. It will include, as much as possible, a summary of information from meetings and discussions on behalf of the Town of Kensington. Any decisions to be made on behalf of the Town will be brought forward to Council for decisions.

The Mayor is the designated spokesperson for the town and communicates decisions made by Town Council. The Mayor chairs the monthly Town Council Meetings and the monthly Committee of Council meetings. All efforts are made to keep discussions and decisions transparent as we represent the town on behalf of the residents. Agenda's (along with supporting information) for Committee of Council meetings and Town Council meetings are posted on the town website on the Friday afternoon prior to the meeting. (www.kensington.ca)

Committee of Council meetings are held on the 4th Monday of each month (except July and August and December) at 6:30 pm and Town Council meetings are held on the 2nd Monday of each month at 7:00 pm. The agenda's (along with supporting information) are emailed to the County Line Courier, Journal Pioneer, CTV, and CBC on the Friday afternoon prior to the meetings.

EVK Pool – I understand the operation of the EVK Pool has been running smooth this year. As in other years there are always issues that need to be dealt with and they have been addressed effectively throughout the season. I am sure several people had a role to play in this but it is mainly due to the commitment and follow up of Deputy Administrator Wendy MacKinnon who takes extra care to ensure it is staffed and operational. Thank You Wendy. This is a valued asset to our town and well appreciated by children in the area.

Ball field errant balls – We have experienced some issues with balls crossing the road and into neighboring yards causing some safety concerns. Robert and his staff have installed temporary safety fencing along the west side of the access road and more ball field netting has been ordered to be installed to correct the problem long term.



Federal Housing Strategy – I met with MP Heath MacDonald and Minister Ahmed Hussen, Minister of Housing, Diversity, and Inclusion for the Government of Canada along with other Mayors and CAO's to hear about the plans the Federal Government has to increase the number of family housing units in Canada. Several programs were discussed and we will be working with MP MacDonald and our own Minister of Social Development and Housing, Hon. Matthew Mackay to see if we can utilize these funds either directly or indirectly through our current local developers.

Antique Car Show Tour– I had the pleasure of attending the antique car show at Bell's Irving and met people from all across Canada. They have joined together on the east coast and are travelling in a group across Canada to the west coast. They took the time to display their cars in Kensington, hosted by Bell's Irving and Rudy Croken. The Town of Kensington provided a few gifts for draws and also a celebrity cake. Thank you to Bruce and Donna Bell, Rudy and Ruth Croken and all others who help to make this possible.

Kensington and Area Soccer Club – We are very fortunate to have such an active soccer club in the Kensington area. As Councillors may recall, it was in 2010 when the first discussions were held to consider the construction of a soccer clubhouse in the area. After many years and with the support of many others, the building is now complete. It was my pleasure to be able to attend the Grand Opening on behalf of the Town of Kensington and assist in the ribbon cutting. Thank you to Cavendish Farms and the Provincial Government for assisting in the financial cost, DJ Welton for leading the final charge to get the project completed and to our own Geoff Baker who carried out many discussions, supported the soccer association and helped bring the project to completion. It is a great facility and provides much needed washrooms, storage facilities, meeting space and other amenities related to soccer. We are proud to have it located in our community and it has been a pleasure to be a partner in this great project.

ACOA Announcement – It was an honour to host and emcee the announcement by Hon. Ginette Petitpas Taylor, Minister of Official Languages and Minister responsible for ACOA when she announced funding for 4 projects within the Kensington and surrounding area. Attending with her were our MP Heath MacDonald and Hon Jamie Fox, Minister of Fisheries and Communities. Minister Petitpas Taylor announced funding within our town in the amount of \$131,362 which was directed to covering 50% of our upgrades to the EVK Pool and Credit Union Center Arena and 75% funding towards our railyards and summer music programs plans and infrastructure for 2022. Other recipients were the Municipality of Breadalbane and the International Children's



Memorial in Scales Pond. We are fortunate to have the support of all levels of government to enable us to provide much needed services to our community. With this support we are able to provide some of the services that people within our community desire. It also enables us to maintain our ageing infrastructure and provide many more useful years of life.

Rowan Caseley, Mayor

Town of Kensington

Town of Kensington - Request for Decision

Date: August 4, 2022	Request for Decision No: 2022-31
Topic: Broadway Street South Infrastructure Upgrades – Tender Award	
Proposal Summary/Background: <p>The Town recently issued tender documents, through WSP, for the completion of the Broadway Street South Infrastructure Upgrades project. The tendered project generally includes the construction of approximately 1000 meters of water main, 600 meters of sewer main, and 270 meters of sidewalk along Broadway Street South.</p> <p>The water and sewer mains will extend from Barrett Street and will be connected to existing water mains on Park Road and Gerald McCarville Drive to complete loops in the system. This will increase the efficiency of the existing system while also ensuring better quality of water by eliminating two existing dead ends which may currently harbour stagnant water. To increase fire suppression capabilities in the area, 5 fire hydrants will also be installed as part of the new watermain construction.</p> <p>The new water and sewer mains will allow up to 12 residential and 5 commercial residents to be serviced by the Town and create will create the potential for future water and sewer construction on Andrews Drive which would service 14 residential and 3 commercial residents.</p> <p>The new sidewalk will extend from Barrett Street through to the Confederation Trail Access along Broadway Street South.</p> <p>The Broadway Street South Infrastructure Upgrades project tender closed on July 13, 2022 with three bids being received as follows:</p> <ul style="list-style-type: none">• Birt & MacKay Backhoe Services Ltd. - \$1,967,269.06 including HST (<u>Low Bidder</u>)• Island Coastal Services Ltd. - \$3,493,602.25 including HST• Curran and Briggs Ltd. - \$2,297,263.00 including HST <p>All tenders were deemed compliant and therefore it is recommended that the contract be awarded to Birt & MacKay Backhoe Services Ltd. in the amount of \$1,967,269.06 including HST. The construction schedule is set for a total of 13 weeks with the project start date set for September 1,</p>	

2022 and being completed by November 30, 2022

Benefits:

- Will complete circulation loops within the Town's water system.
- Will add increased fire suppression capabilities.
- Will eliminate two existing dead ends within the Town's water system.
- Will allow for the central servicing of properties along the route that currently have on-site servicing.
- Will allow for future expansion of the water and sewer systems.
- Will provide a sidewalk (connectivity) from the existing sidewalk network to the Confederation Trail system.

Disadvantages:

- None noted.

Discussion/Comments:

It is recommended by the CAO that Town Council proceed with the award of the tender to Birt & MacKay Backhoe Services Ltd. as they were the lowest bidder, and their tender was deemed compliant.

The project is partially funded through three funding programs; the Invest in Canada Infrastructure Program (Water and Sewer component), the Province of PEI's Active Transportation Program (Sidewalk component), and the Town's Direct Allocation under the Canada Community Building Fund (CCBF). The Town is responsible for approximately 25% of the cost of the water and sewer component of the project and 10% of the sidewalk portion (note that final cost allocation will be based on final project costs and the allocations as contemplated in the funding agreements).

Options:

1. Award the tender, as recommended.
2. Not award the tender.
3. Refer the matter(s) back to staff for further direction and deliberation.

<p>Costs/Required Resources:</p> <p>\$1,967,267.06 including HST (HST fully recoverable)</p>	<p>Source of Funding:</p> <p>Invest In Canada Infrastructure Program Active Transportation Program Canada Community Building Fund – Direct Allocation Town of Kensington (Long Term Borrowing approved by Town Council in January 2022)</p>
<p>Recommendation:</p> <p>That Town Council consider and adopt the following resolution(s):</p> <p><i>BE IT RESOLVED THAT Kensington Town Council award the contract for the Broadway Street South Infrastructure Upgrades Project to Birt & MacKay Backhoe Services Ltd. as per their tender submission in the amount of \$,967,267.06 including HST.</i></p>	

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TOWN OF KENSINGTON

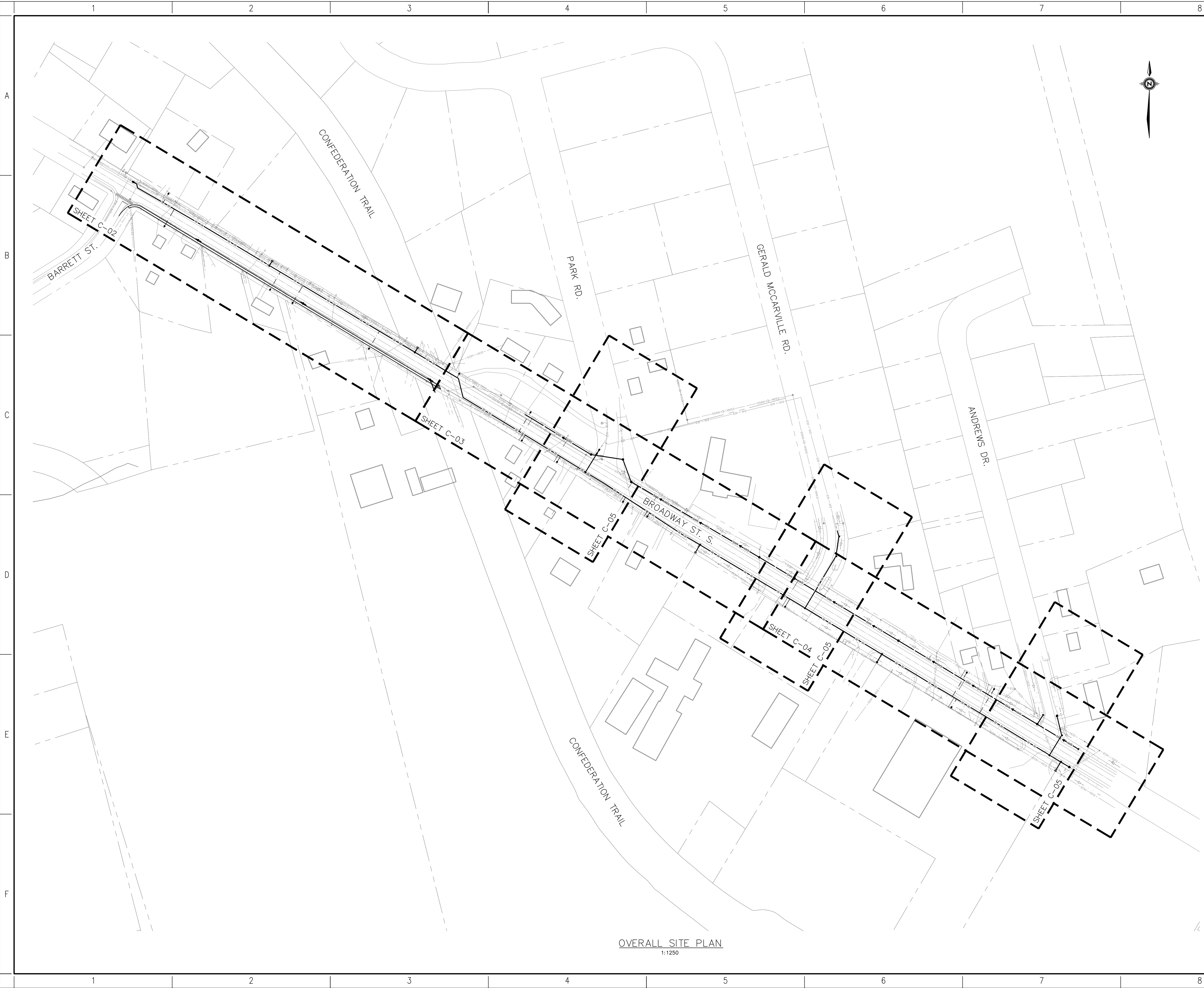
BROADWAY STREET SOUTH

INFRASTRUCTURE UPGRADES



CONTENTS	
SHEET C-00	COVER PAGE
SHEET C-01	OVERALL SITE PLAN - EXISTING CONDITIONS
SHEET C-02	INFRASTRUCTURE - BROADWAY ST. SOUTH - PLAN & PROFILE
SHEET C-03	INFRASTRUCTURE - BROADWAY ST. SOUTH - PLAN & PROFILE
SHEET C-04	INFRASTRUCTURE - BROADWAY ST. SOUTH - PLAN & PROFILE
SHEET C-05	INFRASTRUCTURE - SIDE STREET CONNECTIONS - PLAN & PROFILE
SHEET C-06	DRIVEWAY SECTIONS
SHEET C-07	TYPICAL DETAILS
SHEET C-08	TYPICAL DETAILS
SHEET C-09	TYPICAL DETAILS

JUNE 2022



OVERALL SITE PLAN
1:1250

- SURVEY NOTES**
- SEE ALL DRAWINGS FOR ADDITIONAL NOTES AND DETAILS.
 - THE FIELD WORK FOR THIS SURVEY WAS EXECUTED DURING MARCH AND APRIL.
 - AZIMUTHS ARE GRID DERIVED
 - AL DIMENSIONS ARE GIVEN IN METRIC, UNLESS NOTED.
 - TOPOGRAPHIC SURVEY REFERENCED TO PEI GRID MONUMENT No. 3444 WITH THE LISTED ELEVATION OF 54.15 m.
- NOTES**
- EXISTING UTILITY INFORMATION HAS BEEN OBTAINED AND SCALED IN PART FROM RECORD DRAWINGS. ALL INFORMATION GIVEN ON DRAWINGS IS TO BE CONSIDERED APPROXIMATE ONLY, AND IS NOT TO BE CONSTRUED AS TOTALLY COMPLETE. PRIOR TO ANY CONSTRUCTION ACTIVITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL REQUIRED INFORMATION REGARDING EXISTING CONDITIONS. (I.E. TELEPHONE, ELECTRIC, CABLE, UNDER ROADWAY DRAINAGE, ETC.)
 - CONTRACTOR TO NOTIFY THE ENGINEER REGARDING CONSTRUCTION SCHEDULE PRIOR TO COMMENCING CONSTRUCTION.
 - THE CONTRACTOR IS REQUIRED TO CARRY OUT EXPLORATORY EXCAVATIONS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SUBSURFACE PIPES, ELECTRICAL LINES AND COMMUNICATION LINES AND DETERMINE EXACT ELEVATIONS AND LOCATIONS OF THE ABOVE LINES RELATIVE TO THE NEW WATER MAIN. NOTIFY ENGINEERS IF A CONFLICT IS IDENTIFIED TO MAKE THE REQUIRED ADJUSTMENTS. CONFIRM NO CONFLICTS EXISTS PRIOR TO PLACING ANY NEW SUBSURFACE PIPES. NO ADDITIONAL MONIES SHALL BE PAID TO THE CONTRACTOR AS A RESULT OF THIS REQUIREMENT.

LEGEND:	EXISTING	NEW
ASPHALT		
GRAVEL		
SIDEWALK		
SANITARY PIPE & MANHOLE	EXIST - 12" DIA	NEW - 12" DIA
STORM PIPE & CATCH BASIN	EXIST - 18" DIA	NEW - 18" DIA
SEWER LATERAL		
WATER PIPE		
FIRE HYDRANT & WATER VALVE		
WATER LATERAL		
UTILITY LINES & POLE		
GUY WIRE		
CULVERT		
ROAD SIGN		
TOP OF SLOPE		
BOTTOM OF SLOPE		
DITCH/SWALE		
TREE		

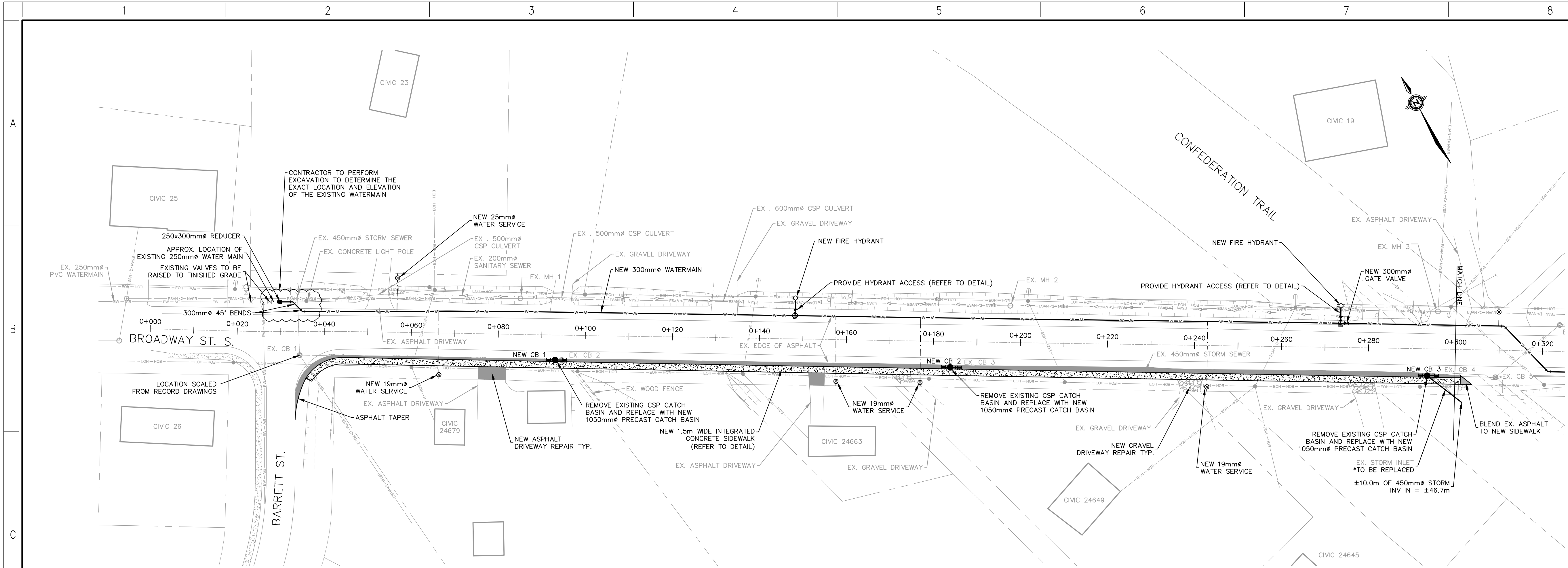


WSP Canada Inc.
195 MacEwen Road
Summerside, Prince Edward Island, C1N 5Y4 Canada
T 902-436-2669 F 902-436-8601 wsp.com

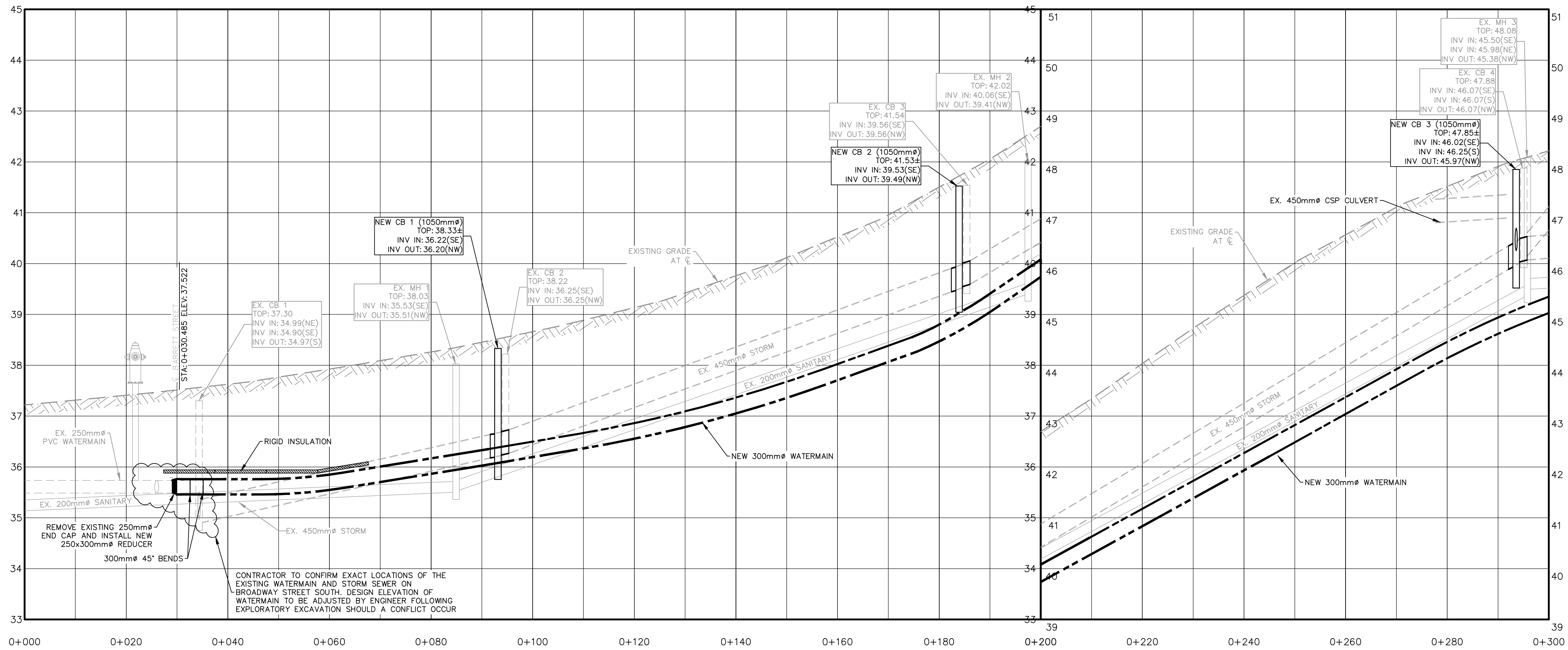
DISCLAIMER: DRAWINGS SUBJECT TO APPROVAL PRIOR TO CONSTRUCTION. THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

REVISION:	
0	2022/06/28 ISSUED FOR TENDER
NO.	DATE YYYY/MM/DD
PROJECT NO: 221-02404	
DATE: (YYYY/MM/DD) 2022/06/28	
ORIGINAL SCALE: HORIZONTAL: 1:1250 VERTICAL: N/A	
IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.	
DESIGNED BY: S.HAY	REVIEWED BY: L. VAN HUL
DRAWN BY: D.PHILLIPS	
SCALE: 1:1250 METRIC	
25 0 25 50 75	

CLIENT:	TOWN OF KENSINGTON
PROJECT:	BROADWAY STREET SOUTH INFRASTRUCTURE UPGRADES KENSINGTON, PE
TITLE:	OVERALL SITE PLAN EXISTING CONDITIONS
SHEET NUMBER:	C-01
SHEET #:	01 OF 09



PLAN — BROADWAY ST. SOUTH
1:500



PROFILE — BROADWAY ST. SOUTH
H 1:500 / V 1:50

- NOTES
- SEE ALL DRAWINGS FOR ADDITIONAL NOTES AND DETAILS.
 - ANY REPAIR REQUIRED TO EXISTING INFRASTRUCTURE DAMAGED DURING CONSTRUCTION SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
 - ALL NEW MANHOLES AND CATCHBASINS SHALL BE PRECAST CONCRETE AND SHALL BE 1050mm UNLESS NOTED OTHERWISE.
 - SANITARY SEWER MANHOLES ARE TO HAVE A SELF-ADHESIVE WATERPROOFING MEMBRANE SUCH AS A 'BAKER BLUESKIN WP200' FOR ENTIRE STRUCTURE OR APPROVED EQUIVALENT. THE INSTALLATION OF THE PRODUCT IS TO BE PERFORMED AS PER THE MANUFACTURER'S INSTRUCTIONS, INCLUDING PRIMER.
 - ALL NEW MANHOLES SHALL BE SUPPLIED WITH A MINIMUM OF 200mm OF GRADE RINGS IN THE TOTAL DEPTH TO ALLOW FOR FINAL HEIGHT ADJUSTMENT IN THE FIELD.
 - THE CONTRACTOR IS REQUIRED TO FOLLOW THE ENVIRONMENTAL CONTROLS AS DETAILED IN THE P.E.I. DEPARTMENT OF TRANSPORTATION, INFRASTRUCTURE AND ENERGY "ENVIRONMENTAL PROTECTION PLAN" MANUAL. THE REQUIREMENTS OF THE EPP WILL BE STRICTLY ENFORCED AND ARE CONSIDERED INCIDENTAL TO THE PROJECT. NO EXTRAS WILL BE ALLOWED.
 - AT A MINIMUM THE FOLLOWING ENVIRONMENTAL CONTROLS ARE TO BE USED FOR AREAS DISTURBED ADJACENT TO DITCHES, WET LANDS AND STREAMS:
 - STRAW CHECK DAMS
 - HYDROSEEDING
 - STRAW MULCH
 - TYPE 1 SILT FENCE
 - CONTRACTOR TO REINSTATE DISTURBED GRASSED AREAS BEHIND NEW SIDEWALK WITH SOD. ALL OTHER GRASSED AREAS TO BE REINSTATED WITH HYDROSEED.

LEGEND:	EXISTING	NEW
ASPHALT		
GRAVEL		
SIDEWALK		
SANITARY PIPE & MANHOLE		
STORM PIPE & CATCH BASIN		
SEWER LATERAL		
WATER PIPE		
FIRE HYDRANT & WATER VALVE		
WATER LATERAL		
UTILITY LINES & POLE		
GUY WIRE		
CULVERT		
ROAD SIGN		
TOP OF SLOPE		
BOTTOM OF SLOPE		
DITCH/SWALE		
TREE		

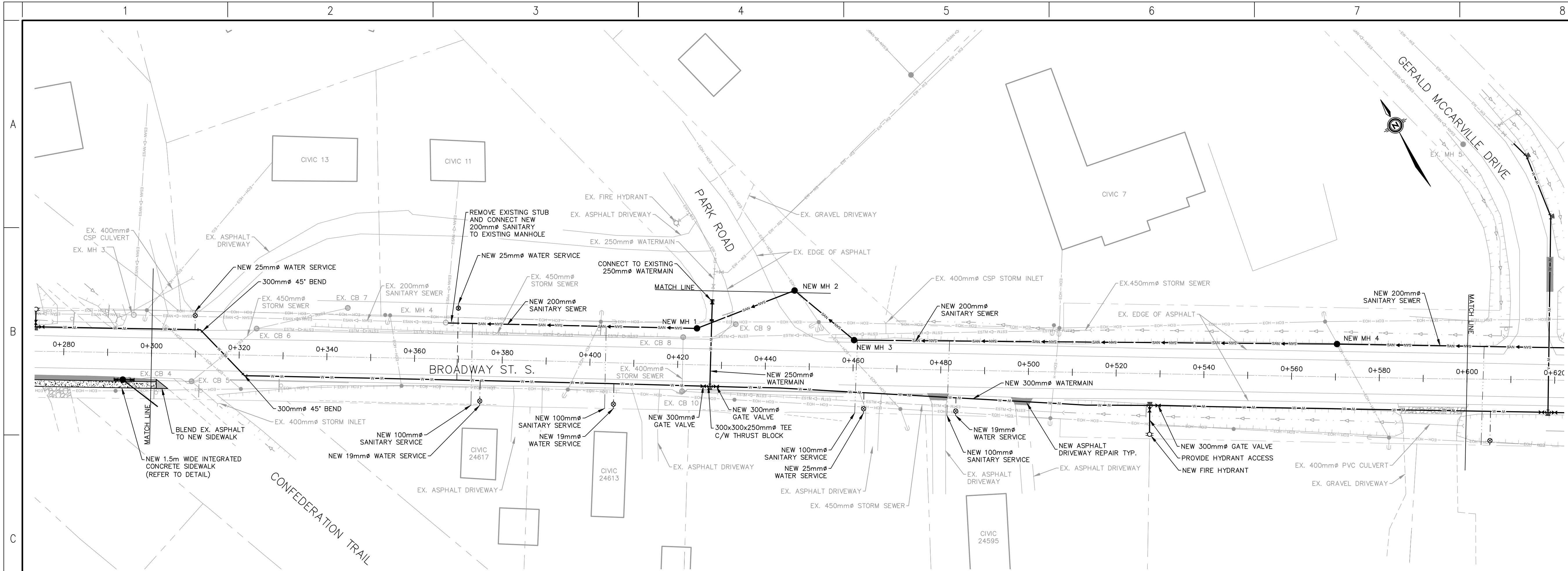


WSP Canada Inc.
195 MacEwen Road
Summerside, Prince Edward Island, C1N 5Y4 Canada
T 902-436-2669 F 902-436-8601 wsp.com

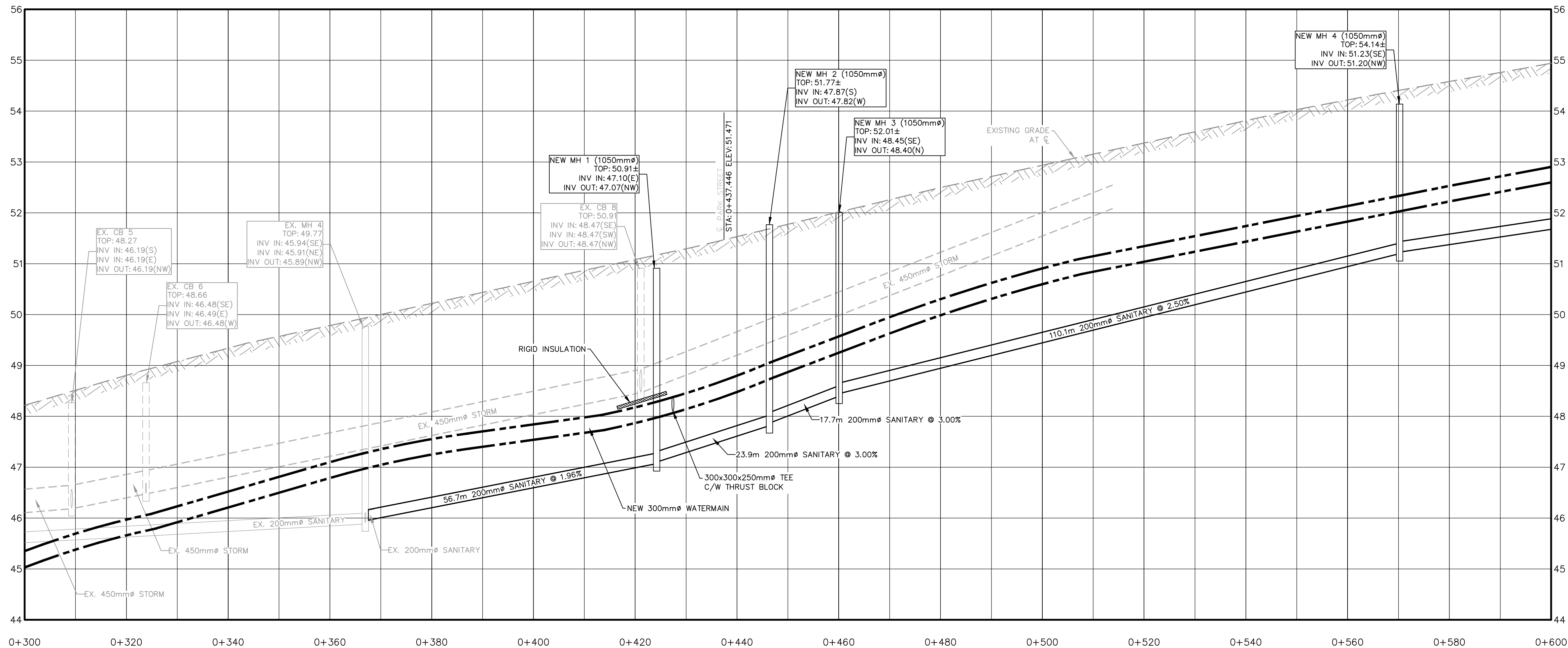
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REVISION:	NO.	DATE YYYY/MM/DD	DESCRIPTION	DATE: (YYYY/MM/DD)
	0	2022/06/28	ISSUED FOR TENDER	2022/06/28
PROJECT NO:	221-02404			
ORIGINAL SCALE:	HORIZONTAL: 1:500	VERTICAL: 1:50		
DESIGNED BY:	S.HAY	REVIEWED BY:	L. VAN HUL	
DRAWN BY:	D.PHILLIPS			
SCALE: 1:500 METRIC				
	10 8 6 4 2 0	10	20	30

CLIENT:	TOWN OF KENSINGTON
PROJECT:	BROADWAY STREET SOUTH INFRASTRUCTURE UPGRADES KENSINGTON, PE
TITLE:	INFRASTRUCTURE BROADWAY ST. SOUTH PLAN & PROFILE
SHEET NUMBER:	C-02
SHEET #	02 OF 09



PLAN - BROADWAY ST. SOUTH
1:500



PROFILE - BROADWAY ST. SOUTH
H 1:500 / V 1:50

- NOTES**
- SEE ALL DRAWINGS FOR ADDITIONAL NOTES AND DETAILS.
 - ALL SEWER MAINS ARE TO BE DR-35 PVC INSTALLED TO THE MANUFACTURERS RECOMMENDED STANDARDS UNLESS OTHERWISE NOTED.
 - ALL SEWER SERVICES TO BE 100mm \varnothing PVC DR35 U.N.O.
 - ALL SEWER SERVICES ARE TO TERMINATE AT THE R.O.W. WITH A BELL AND PLUG. SEWER SERVICES ARE TO BE MARKED WITH A YELLOW PAINTED STAKE EXTENDING 600mm ABOVE FINISHED GRADE AND DENOTING THE ELEVATION OF THE SEWER SERVICE.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FAMILIAR WITH AND UNDERSTAND THE NATURE AND EXTENT OF THE WORK TO BE EXECUTED, THE NATURE OF THE SOIL, SURFACE WATER DRAINAGE, THE GENERAL FORM OF THE SURFACE OF THE GROUND AND GENERALLY OF ALL MATTERS WHICH CAN IN ANYWAY INFLUENCE THE TENDER.
 - CATCH BASIN STRUCTURES ARE TO BE 1050mm \varnothing UNLESS NOTED OTHERWISE AND THE FRAME AND COVERS ARE TO BE AS PER ASTM A48, IMP R-11.
 - TOP ELEVATION FOR ALL MANHOLES AND CATCH BASIN IS APPROXIMATE ONLY AND IS TO BE ADJUSTED TO ENSURE 30mm DEPRESSION FROM FINISH ASPHALT GRADE.
 - PLACE ALL ENVIRONMENTAL CONTROLS PRIOR TO ANY EXCAVATION. REPLACE AS NECESSARY AS CONSTRUCTION PROCEEDS.
 - ANY MUD OR DEBRIS THAT IS CARRIED OFFSITE AND ONTO THE PUBLIC ROADWAY MUST BE CLEANED OFF AT THE END OF EACH WORKDAY.

LEGEND:	EXISTING	NEW
ASPHALT		
GRAVEL		
SIDEWALK		
SANITARY PIPE & MANHOLE		
STORM PIPE & CATCH BASIN		
SEWER LATERAL		
WATER PIPE		
FIRE HYDRANT & WATER VALVE		
WATER LATERAL		
UTILITY LINES & POLE		
GUY WIRE		
CULVERT		
ROAD SIGN		
TOP OF SLOPE		
BOTTOM OF SLOPE		
DITCH/SWALE		
TREE		



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REVISION:

NO.	DATE YYYY/MM/DD	DESCRIPTION
0	2022/06/28	ISSUED FOR TENDER

PROJECT NO: 221-02404	DATE: (YYYY/MM/DD) 2022/06/28
ORIGINAL SCALE: HORIZONTAL: 1:500 VERTICAL: 1:50	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
DESIGNED BY: S.HAY	REVIEWED BY: L. VAN HUL
DRAWN BY: D.PHILLIPS	
SCALE: 1:500 METRIC	

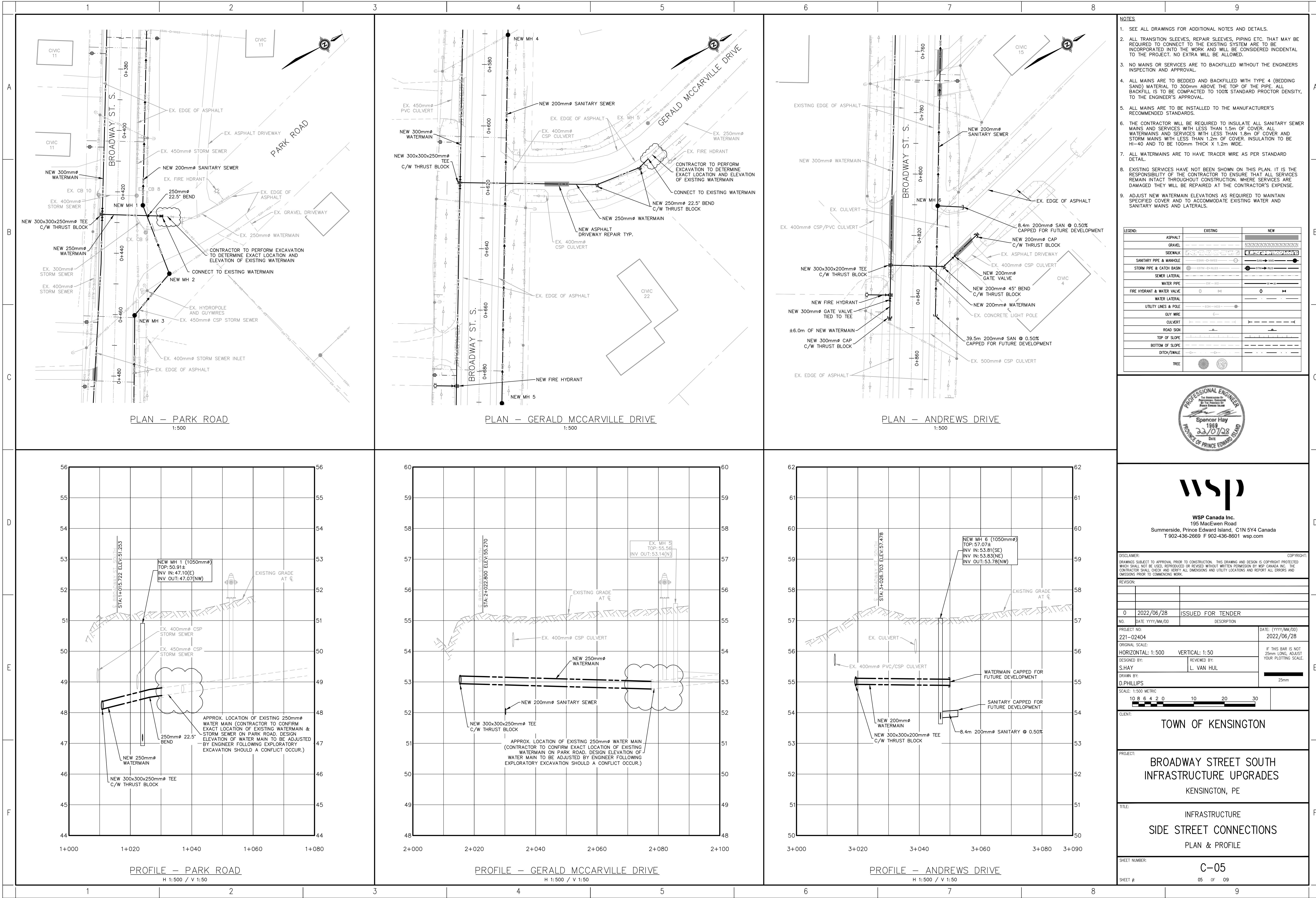
CLIENT: TOWN OF KENSINGTON

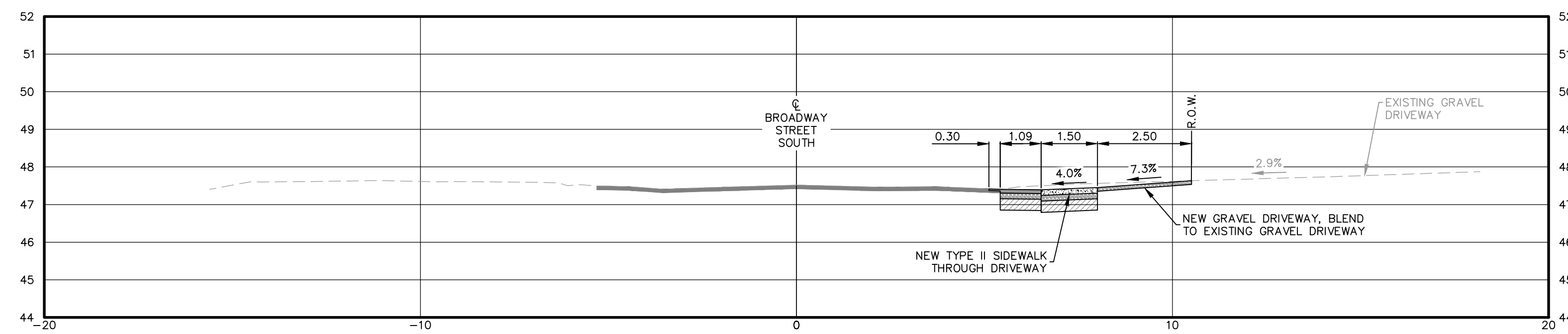
PROJECT: BROADWAY STREET SOUTH
INFRASTRUCTURE UPGRADES
KENSINGTON, PE

TITLE: INFRASTRUCTURE
BROADWAY ST. SOUTH
PLAN & PROFILE

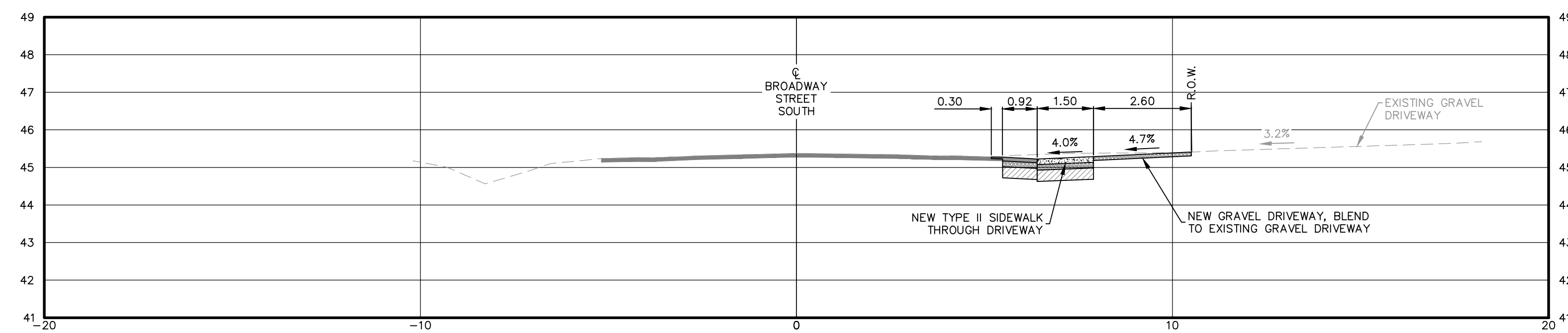
SHEET NUMBER: C-03

SHEET # 03 OF 09

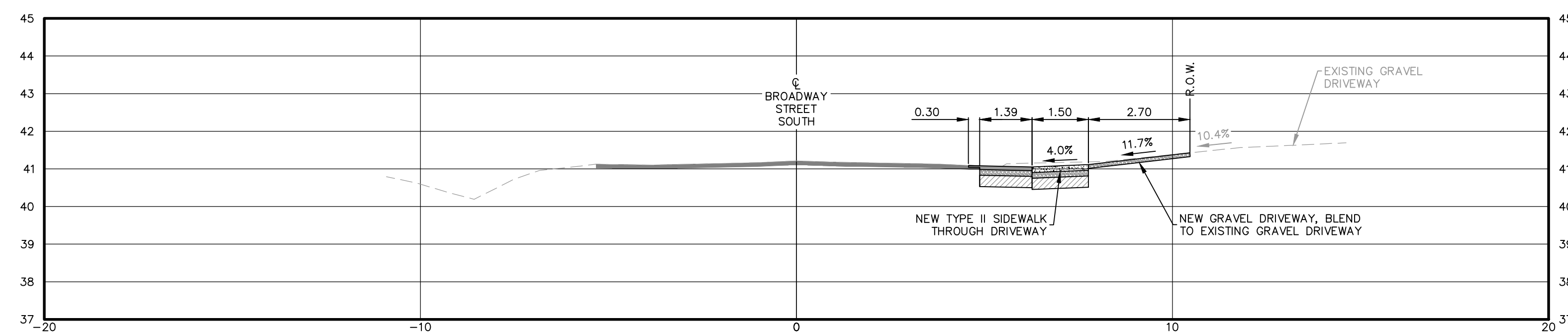




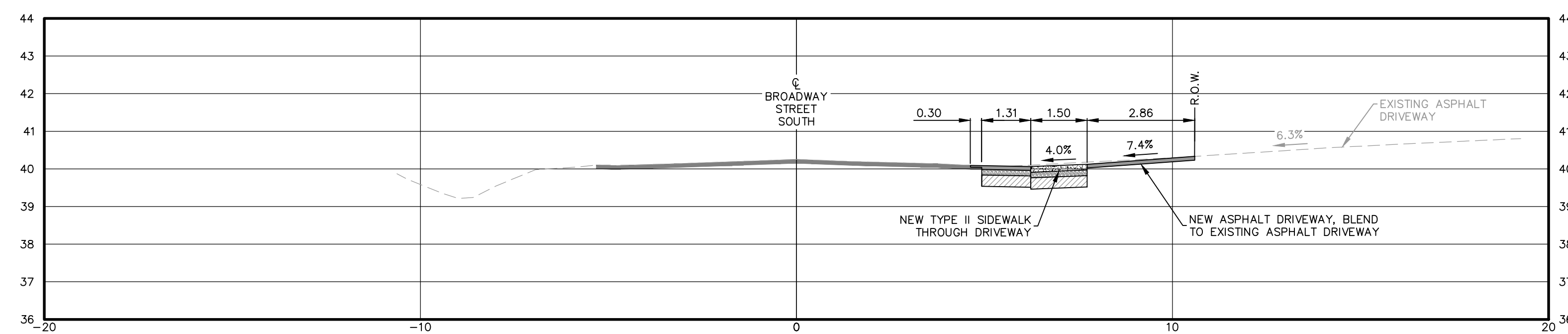
0+280 CIVIC - 24645



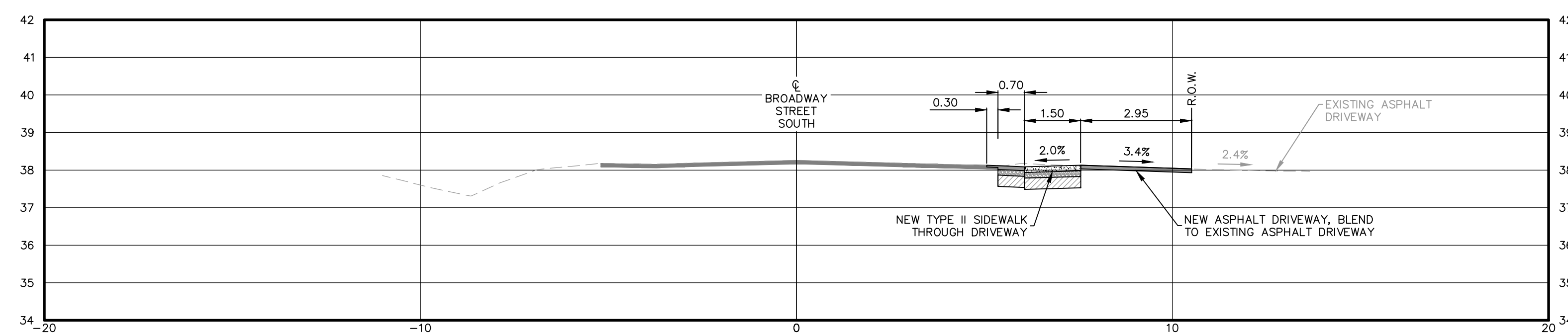
0+240 CIVIC - 24649 DWY 2



0+174 CIVIC - 24649 - DWY 1



0+154 CIVIC - 24663



0+080 CIVIC - 24679

NOTES

1. SEE ALL DRAWINGS FOR ADDITIONAL NOTES AND DETAILS.
2. CONCRETE THRUST BLOCKS OR MECHANICALLY RESTRAINED JOINTS ARE REQUIRED AT ALL VALVE TEES, BENDS AND CAPS ON THE WATER MAIN TO THE ENGINEER'S APPROVAL.
3. NO TRENCHES WILL BE ALLOWED TO BE LEFT OPEN OVERNIGHT.
4. THE CONTRACTOR IS TO MAINTAIN A POSITIVE GRADE ALONG THE NEW WATERMAIN. ISOLATED HIGH SPOTS WILL NOT BE PERMITTED UNLESS LOCATED ADJACENT TO A FIRE-HYDRANT.
5. ALL WATERMAINS TO BE PVC DR-18, PVC0 PRESSURE RATED 235, OR DIP PRESSURE CLASS 250.
6. CONTRACTOR IS TO NOTIFY ALL AFFECTED RESIDENTS 48 HOURS PRIOR TO DISRUPTION TO PROPERTY ACCESS. DISRUPTION TO BE KEPT TO A MINIMUM.
7. CONTRACTOR TO PROTECT ALL EXISTING LANDSCAPING FEATURES SUCH AS TREES, RETAINING WALLS, TREES, SHRUBS, ETC. UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
8. ALL HYDRANT VALVES TO BE TIED TO TEES.
9. ALL FIRE HYDRANT FLANGE ELEVATIONS TO BE ADJUSTED TO 50-100mm ABOVE FINISHED GRADE.
10. CURB STOPS TO BE LOCATED AS CLOSE TO PROPERTY LINE AS POSSIBLE WITH-IN THE R.O.W.
11. ALL WATER SERVICES TO BE TYPE K COPPER OR CROSS LINKED POLYETHYLENE. SIZES AS INDICATED ON DRAWING.
12. CROSS SLOPE OF EXISTING ROAD VARIES. WHEN WIDENING ROAD, ALL NEW ASPHALT IS TO MATCH THE EXISTING CROSS SLOPE.

LEGEND:	EXISTING	NEW
ASPHALT		
GRAVEL		
SIDEWALK		
SANITARY PIPE & MANHOLE		
STORM PIPE & CATCH BASIN		
SEWER LATERAL		
WATER PIPE		
FIRE HYDRANT & WATER VALVE		
WATER LATERAL		
UTILITY LINES & POLE		
GUY WIRE		
CULVERT		
ROAD SIGN		
TOP OF SLOPE		
BOTTOM OF SLOPE		
DITCH/SWALE		
TREE		



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REVISION:		
0	2022/06/28	ISSUED FOR TENDER
NO.	DATE YYYY/MM/DD	DESCRIPTION

PROJECT NO: 221-02404		DATE: (YYYY/MM/DD) 2022/06/28
ORIGINAL SCALE: HORIZONTAL: 1:1000 VERTICAL: 1:100		IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
DESIGNED BY: S.HAY	REVIEWED BY: L. VAN HUL	
DRAWN BY: D. PHILLIPS		
		25mm

CIENT: TOWN OF KENSINGTON

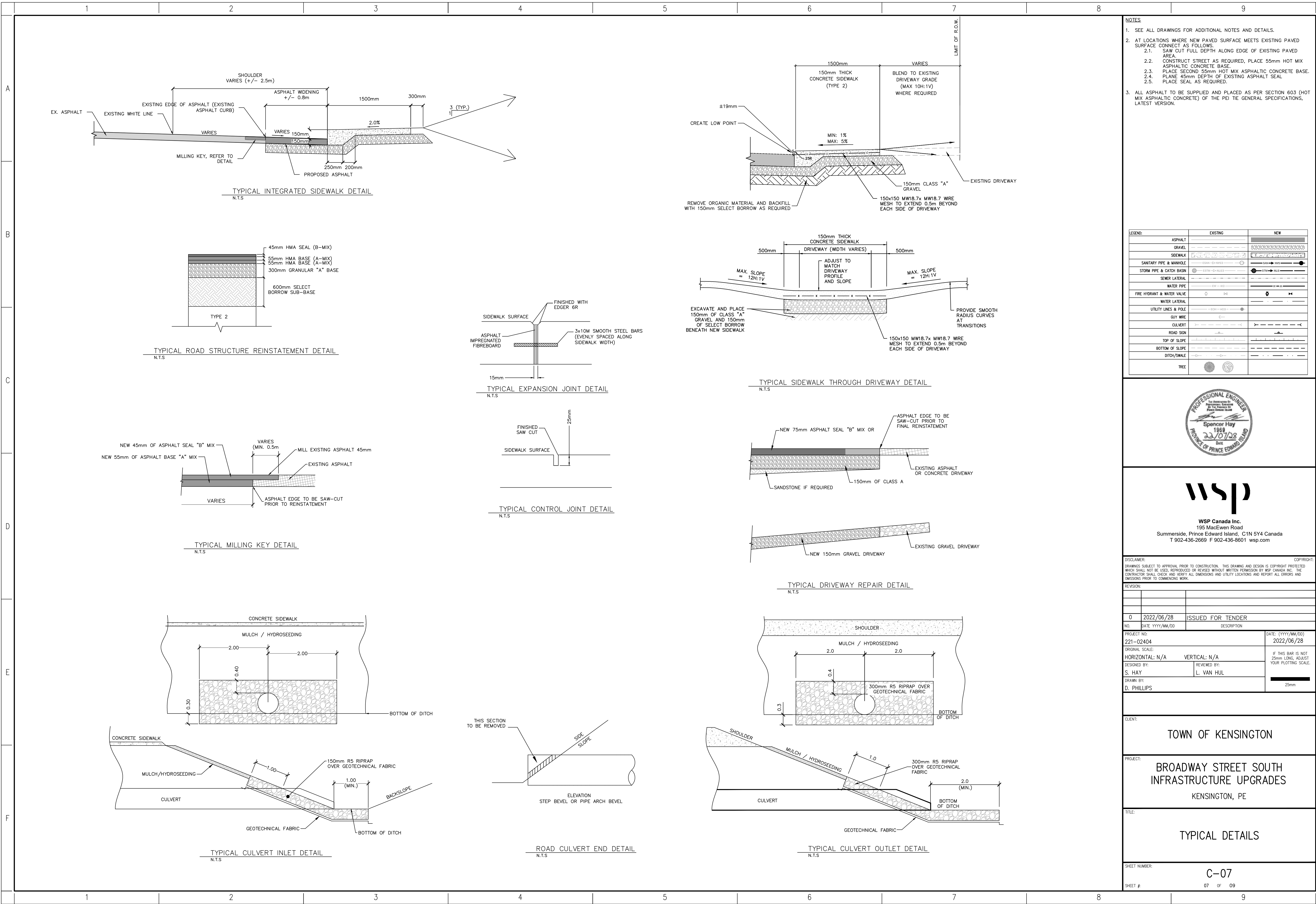
PROJECT: BROADWAY STREET SOUTH
INFRASTRUCTURE UPGRADES
KENSINGTON, PE

TITLE:

DRIVEWAY SECTIONS

SHEET NUMBER: C-06

SHEET #: 06 OF 09



- NOTES**
- SEE ALL DRAWINGS FOR ADDITIONAL NOTES AND DETAILS.
 - AT LOCATIONS WHERE NEW PAVED SURFACE MEETS EXISTING PAVED SURFACE, CONNECT AS FOLLOWS.
 - SAW CUT FULL DEPTH ALONG EDGE OF EXISTING PAVED AREA.
 - CONSTRUCT STREET AS REQUIRED, PLACE 55mm HOT MIX ASPHALTIC CONCRETE BASE.
 - PLACE SECOND 55mm HOT MIX ASPHALTIC CONCRETE BASE.
 - PLACE 45mm DEPTH OF EXISTING ASPHALT SEAL.
 - PLACE SEAL AS REQUIRED.
 - ALL ASPHALT TO BE SUPPLIED AND PLACED AS PER SECTION 603 (HOT MIX ASPHALTIC CONCRETE) OF THE PEI TIE GENERAL SPECIFICATIONS, LATEST VERSION.

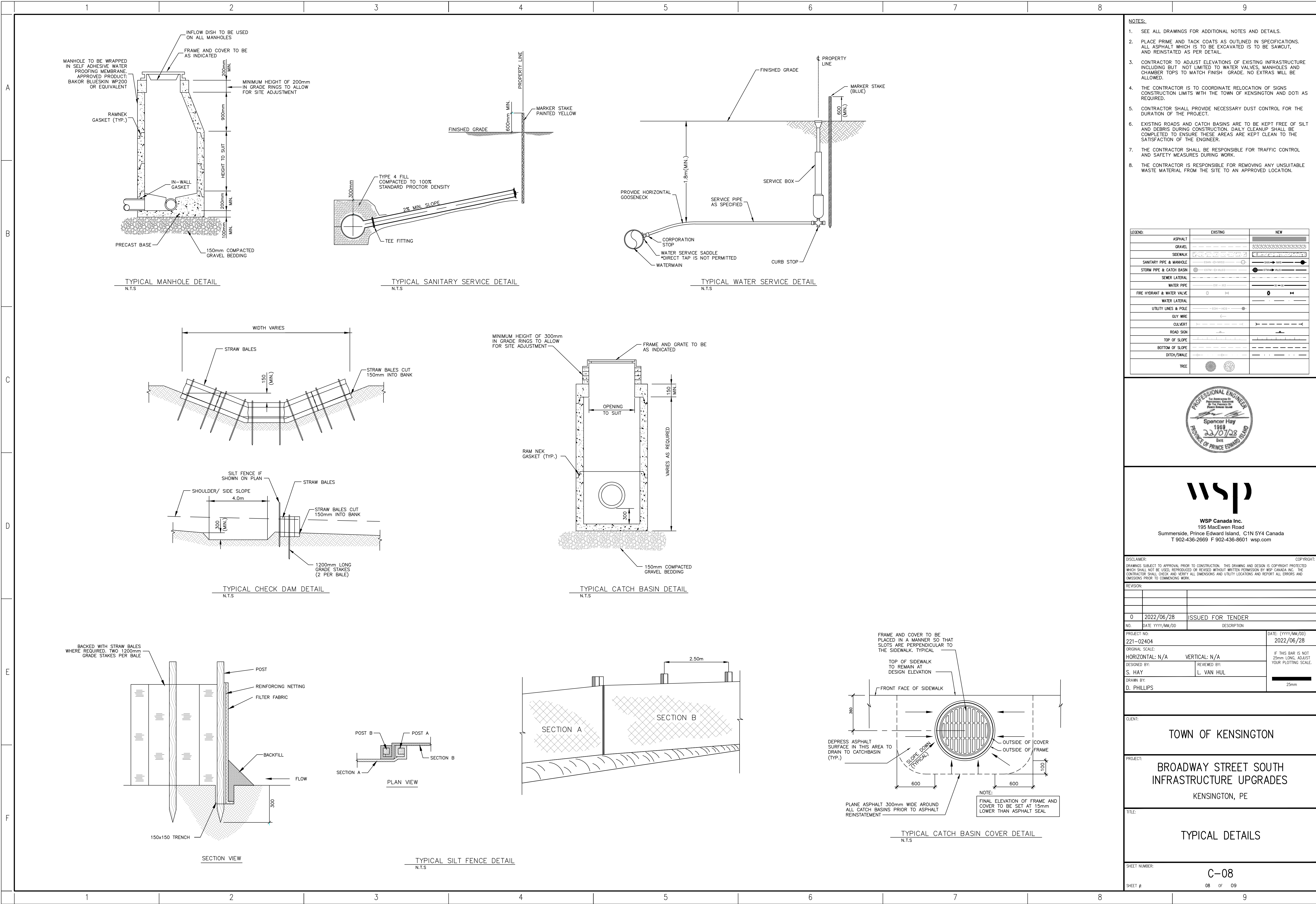
LEGEND:	EXISTING	NEW
ASPHALT		
GRAVEL		
SIDEWALK		
SANITARY PIPE & MANHOLE		
STORM PIPE & CATCH BASIN		
SEWER LATERAL		
WATER PIPE		
FIRE HYDRANT & WATER VALVE		
UTILITY LINES & POLE		
GUY WIRE		
CULVERT		
ROAD SIGN		
TOP OF SLOPE		
BOTTOM OF SLOPE		
DITCH/SWALE		
TREE		

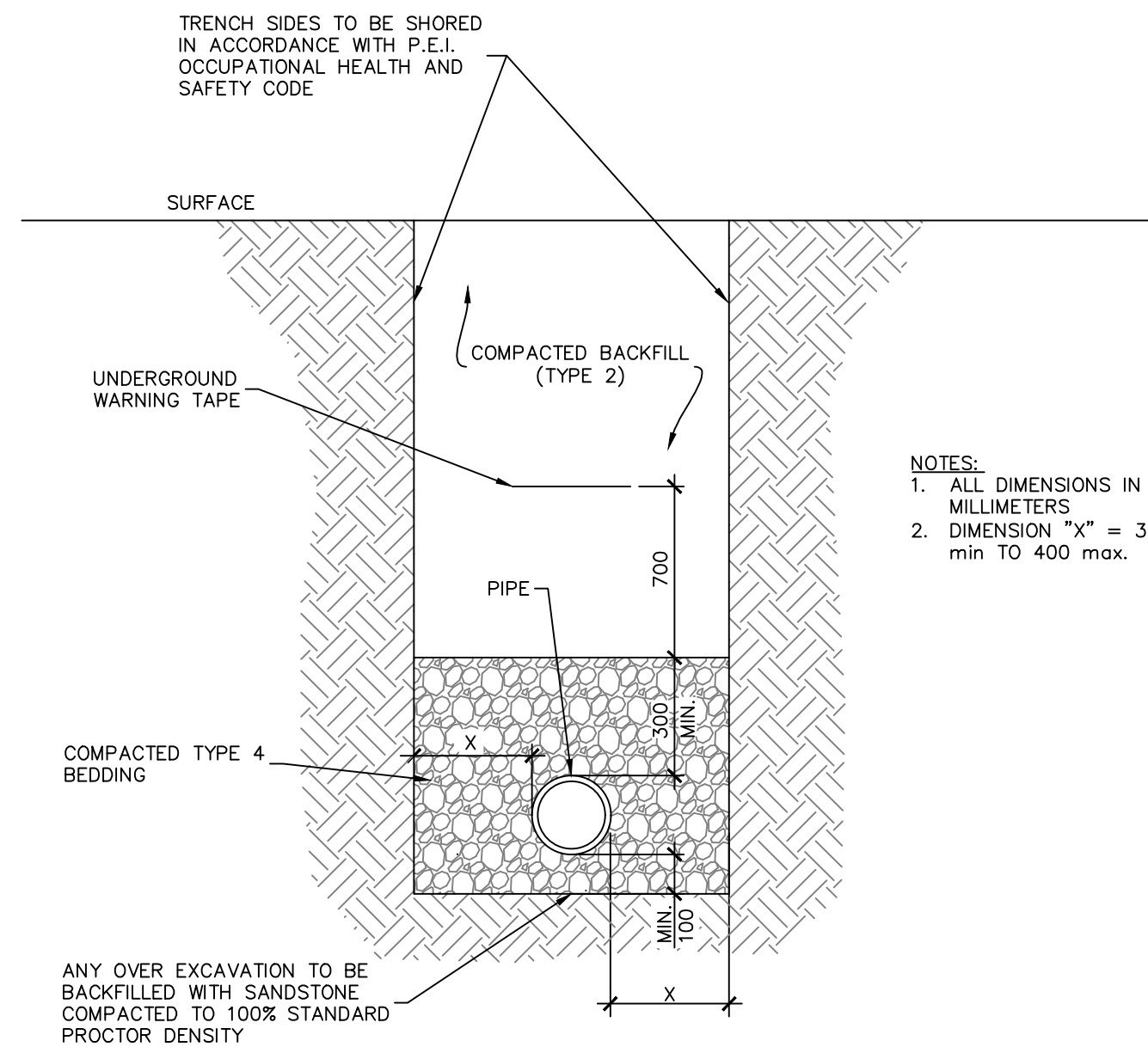


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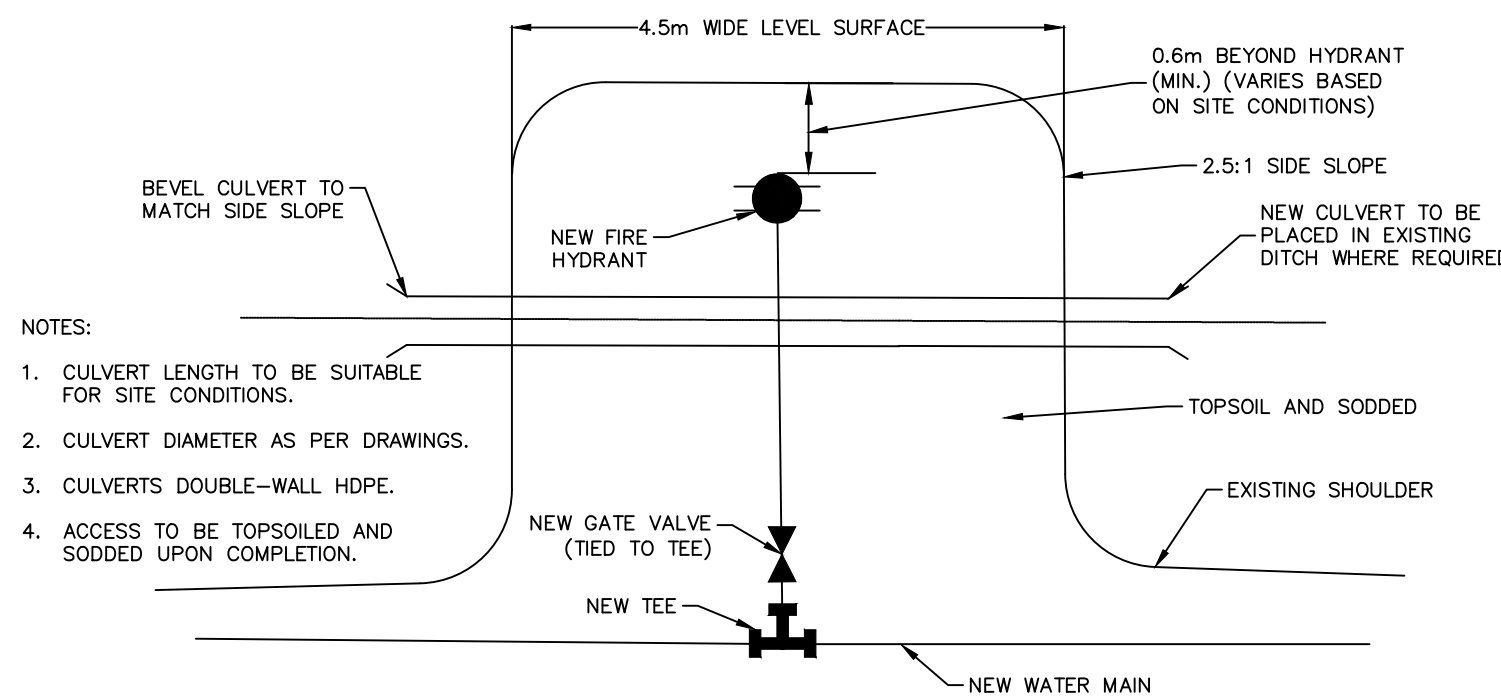
REVISION:		
NO.	DATE YYYY/MM/DD	DESCRIPTION
0	2022/06/28	ISSUED FOR TENDER
PROJECT NO:	221-02404	DATE: (YYYY/MM/DD) 2022/06/28
ORIGINAL SCALE:	HORIZONTAL: N/A VERTICAL: N/A	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
DESIGNED BY:	S. HAY	REVIEWED BY: L. VAN HUL
DRAWN BY:	D. PHILLIPS	

CLIENT:	TOWN OF KENSINGTON
PROJECT:	BROADWAY STREET SOUTH INFRASTRUCTURE UPGRADES KENSINGTON, PE
TITLE:	TYPICAL DETAILS
SHEET NUMBER:	C-07
SHEET #	07 OF 09

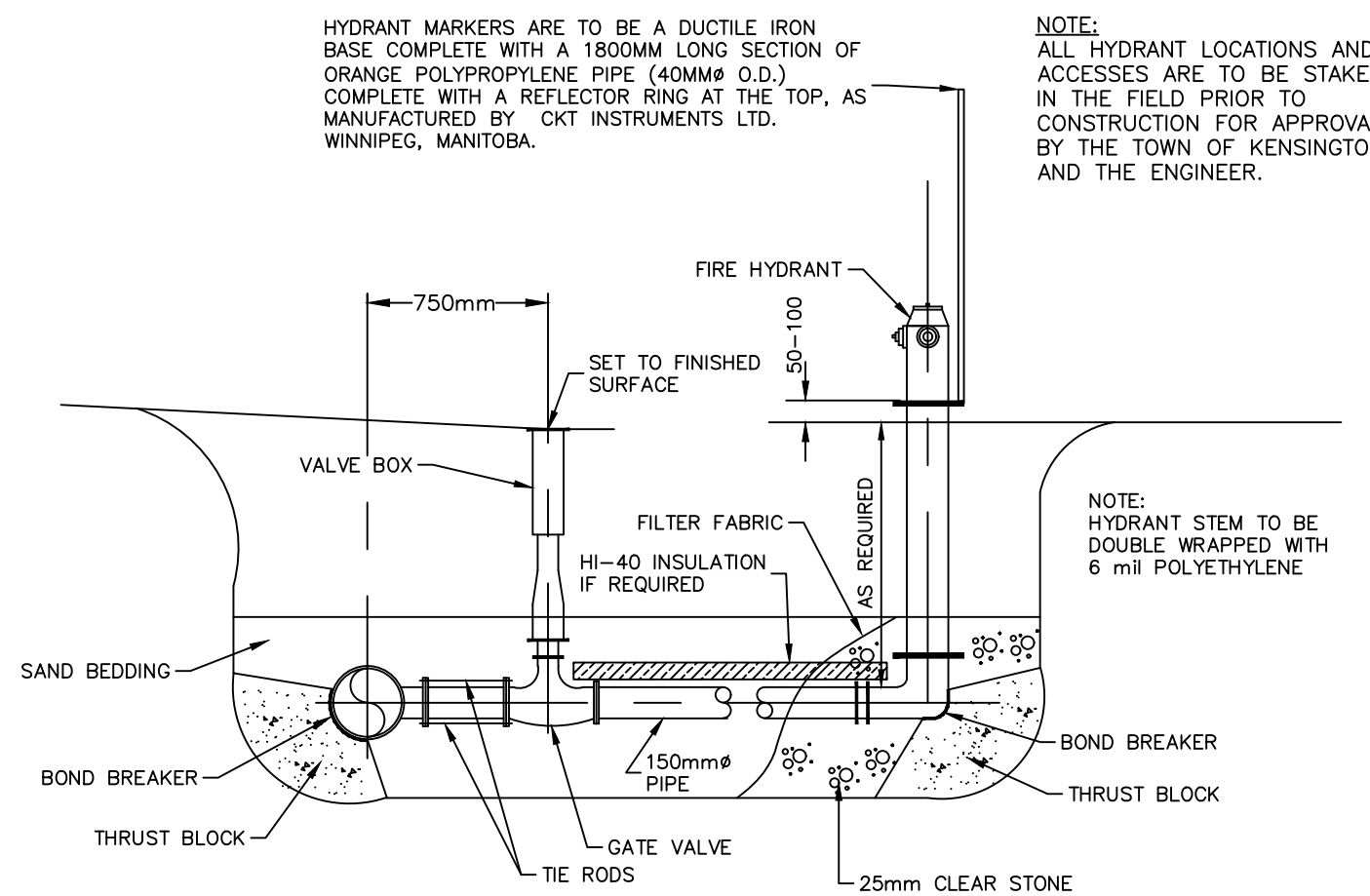




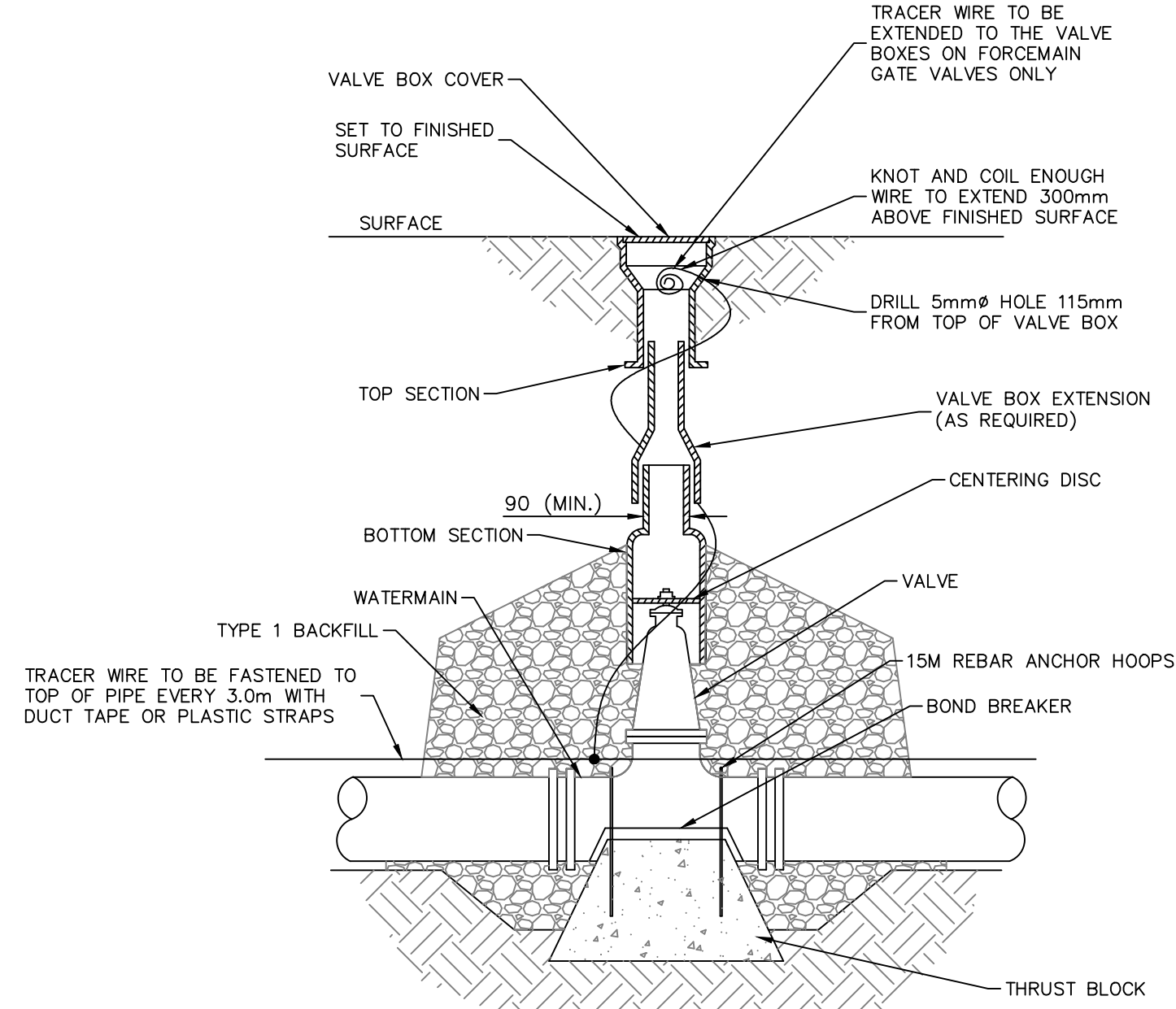
TYPICAL TRENCH DETAIL
N.T.S.



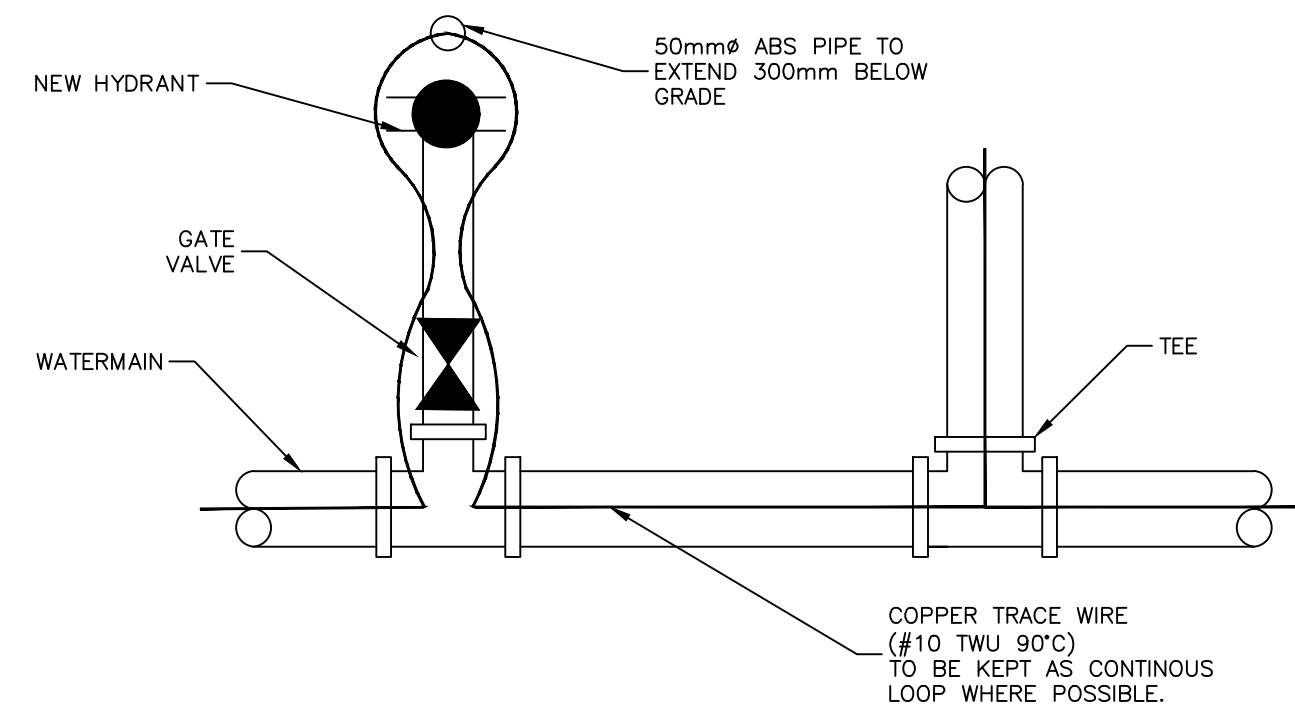
TYPICAL HYDRANT ACCESS DETAIL
N.T.S.



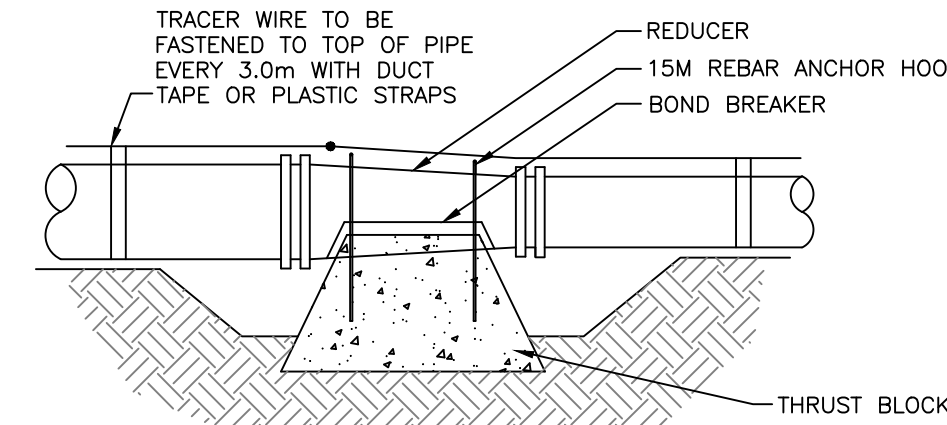
TYPICAL HYDRANT DETAIL
N.T.S.



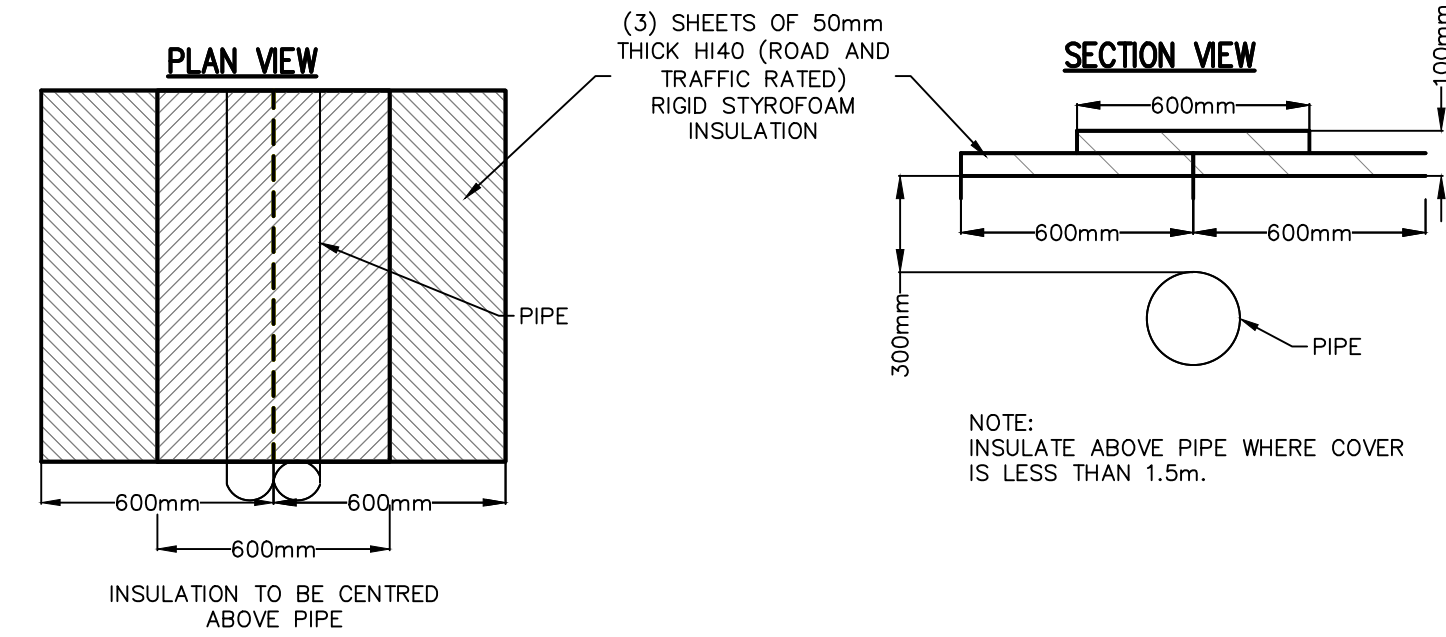
TYPICAL GATE VALVE TRACER WIRE DETAIL
N.T.S.



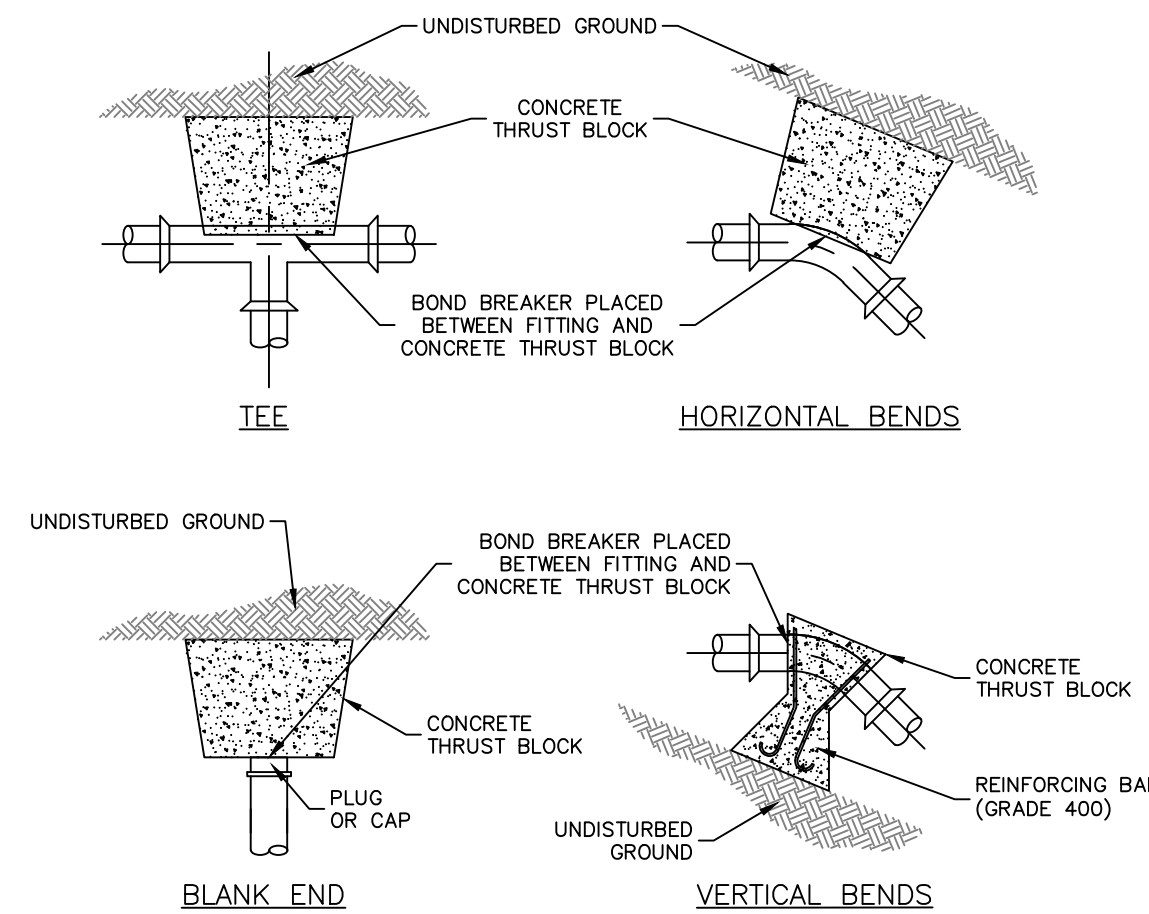
TYPICAL HYDRANT TRACER WIRE DETAIL
N.T.S.



TYPICAL PIPE REDUCER DETAIL
N.T.S.



TYPICAL WATERMAIN INSULATION DETAIL
N.T.S.



MINIMUM CONTACT AREA FOR CONCRETE THRUST BLOCKS

PIPE DIA. mm	AREA, m ² FOR SOIL SUPPORTING CAPACITY OF 100 kPa	TEE	90° BEND	45° BEND	22.5° BEND	11.25° BEND
100	0.25	0.25	0.32	0.20	0.16	0.16
150	0.48	0.48	0.64	0.40	0.24	0.16
200	0.80	0.80	1.12	0.64	0.32	0.16
250	1.28	1.28	1.76	0.96	0.48	0.24
300	1.76	1.76	2.56	1.44	0.72	0.40
400	3.13	3.13	4.56	2.56	1.28	0.71

MINIMUM DISTANCE FROM FITTING TO UNDISTURBED GROUND

PIPE DIAMETER, mm	DISTANCE, mm
100	450
150	450
200	450
250	600
300	750
400	1000

VERTICAL THRUST BLOCKS
THRUST COMPENSATED FOR BY MASS OF CONCRETE (m³)

PIPE DIAMETER, mm	45° BEND	22.5° BEND	11.25° BEND
100	0.40	0.20	0.20
150	0.80	0.40	0.40
200	1.40	0.70	0.70
250	2.10	1.10	1.10
300	3.00	1.50	1.50
400	5.40	2.70	2.70

NOTES:
1. THESE TABLES ARE BASED ON SOIL SUPPORTING CAPACITIES OF 100 kPa AND AN INTERNAL PIPE PRESSURE OF 1035 kPa. WHERE DIFFERENTIAL SUPPORTING CAPACITIES OR INTERNAL PRESSURES ARE ENCOUNTERED, CONTACT AREAS SHALL BE CALCULATED ACCORDINGLY. SAFE SUPPORTING CAPACITY SHALL BE DETERMINED BY THE DESIGN ENGINEER, AND SHALL INCLUDE AN APPROPRIATE FACTOR OF SAFETY.

TYPICAL CONCRETE THRUST BLOCK DETAIL
N.T.S.

NOTES:
1. SEE ALL DRAWINGS FOR ADDITIONAL NOTES AND DETAILS.

LEGEND:	EXISTING	NEW
ASPHALT		
GRAVEL		
SIDEWALK		
SANITARY PIPE & MANHOLE		
STORM PIPE & CATCH BASIN		
SEWER LATERAL		
WATER PIPE		
FIRE HYDRANT & WATER VALVE		
UTILITY LINES & POLE		
GUY WIRE		
CULVERT		
ROAD SIGN		
TOP OF SLOPE		
BOTTOM OF SLOPE		
DITCH/SWALE		
TREE		



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NO.	DATE YYYY/MM/DD	DESCRIPTION
0	2022/06/28	ISSUED FOR TENDER

PROJECT NO: 221-02404	DATE: (YYYY/MM/DD) 2022/06/28
ORIGINAL SCALE: HORIZONTAL: N/A VERTICAL: N/A	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
DESIGNED BY: S. HAY	REVIEWED BY: L. VAN HUL
DRAWN BY: D. PHILLIPS	

CUSTOMER:
TOWN OF KENSINGTON

PROJECT:
BROADWAY STREET SOUTH
INFRASTRUCTURE UPGRADES
KENSINGTON, PE

TITLE:
TYPICAL DETAILS

SHEET NUMBER:
C-09
SHEET # 09 OF 09

Town of Kensington - Request for Decision

Date: August 4, 2022	Request for Decision No: 2022-32 (Office Use Only)
Topic: Development Control Bylaw and Official Plan Amendment - PID No. 762559 (Lot B36 Rosewood Drive) – Second Reading and Formal Adoption	
Proposal Summary/Background: A request has been received from the owner of a property along Rosewood Drive (Lot B36 – PID 762559), to re-zone their property from its current Single Residential (R1) designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property. Re-Zoning the subject property requires an amendment to the Town’s Development Control Bylaw as well as to the future land use map that is part of the Town’s Official Plan.	
Benefits: <ul style="list-style-type: none">• N/A	
Disadvantages: <ul style="list-style-type: none">• N/A	
Discussion/Comments: The proposed Bylaw amendment was initially considered by Town Council at their regular Council meeting held on May 9, 2022 where Town Council approved a recommendation from staff (and DV8 Consulting) that the Bylaw amendment application proceed to a public meeting to solicit opinions/comments from the community. The public meeting was held on June 16 th at 6:00 pm at the Murray Christian Centre with no members of the public in attendance. The Official Plan and Development Control Bylaw amendments were considered by Committee of Council at their regular June meeting where a recommendation was approved to adopt the amendments as proposed. The Official Plan amendment and First Reading of the Development Control Bylaw amendment was approved and adopted at the July 11, 2022 regular meeting of Town Council.	

The following information is being circulated with this memo:

1. Re-Zoning request
2. Initial DV8 report (email)
3. Public Meeting Minutes
4. Public Meeting Advertisement
5. Mapping information

Staff have reviewed the relevant information and the DV8 Consulting initial review report on the proposed Bylaw and Official Plan amendment and are recommending that Town Council proceed with approving and adopting the amendments as proposed.

Options:

1. Approve and formally adopt the Development Control Bylaw amendment, as recommended.
2. Not approve the amendment.
3. Refer the matter(s) back to staff for further direction and deliberation.

Costs/Required Resources:

N/A

Source of Funding:

N/A

Recommendation:

It is recommended that Town Council consider and adopt the following resolution:

Second Reading of Development Control Bylaw Amendment

Resolution 4

WHEREAS a request has been received from the owners of a property located along Rosewood Drive (Lot B36 – PID No. 762559) to re-zone their property from its current Single Residential (R1) zoning designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property;

AND WHEREAS a public meeting to solicit comments/feedback from the public was held on June 16, 2022, in accordance with the PEI Planning Act and the Town's Development Control Bylaw;

AND WHEREAS town staff have evaluated the application, in consultation with DV8 Consulting, and are recommending that Town Council proceed with the Development Control Bylaw amendment;

AND WHEREAS the Bylaw amendment was read, approved, and adopted a first time at a regular meeting of Town Council, duly held on June 11, 2022;

BE IT RESOLVED THAT Kensington Town Council give and approve second reading to amend the Zoning and Subdivision Control Bylaw to re-zone Lot B36 (PID No. 762559) along Rosewood Drive from its current Single Residential (R1) zoning designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property.

Resolution 5

WHEREAS a request has been received from the owners of a property located along Rosewood Drive (Lot B36 – PID No. 762559) to re-zone their property from its current Single Residential (R1) zoning designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property;

AND WHEREAS a public meeting to solicit comments/feedback from the public was held on June 16, 2022, in accordance with the PEI Planning Act and the Town's Development Control Bylaw;

AND WHEREAS town staff have evaluated the application, in consultation with DV8 Consulting, and are recommending that Town Council proceed with the Development Control Bylaw amendment;

AND WHEREAS the Bylaw amendment was read, approved, and adopted a first time at a regular meeting of Town Council, duly held on June 11, 2022;

AND WHEREAS the Bylaw amendment was read and approved a second time at this meeting;

BE IT RESOLVED THAT Kensington Town Council formally approve and adopt second reading to amend the Zoning and Subdivision Control Bylaw to re-zone Lot B36 (PID No. 762559) along Rosewood Drive from its current Single Residential (R1) zoning designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property.

Resolution 6

WHEREAS a request has been received from the owners of a property located along Rosewood Drive (Lot B36 – PID No. 762559) to re-zone their property from its current Single Residential (R1) zoning designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property;

AND WHEREAS a public meeting to solicit comments/feedback from the public was held on June 16, 2022, in accordance with the PEI Planning Act and the Town's Development Control Bylaw;

AND WHEREAS town staff have evaluated the application, in consultation with DV8 Consulting, and are recommending that Town Council proceed with the Development Control Bylaw amendment;

AND WHEREAS the Bylaw amendment was read, approved, and adopted a first time at a regular meeting of Town Council, duly held on June 11, 2022;

AND WHEREAS the Bylaw amendment was read, approved, and adopted a second time at this meeting;

BE IT RESOLVED THAT Kensington Town Council formally adopt an amendment to the Zoning and Subdivision Control Bylaw to re-zone Lot B36 (PID No. 762559) along Rosewood Drive from its current Single Residential (R1) zoning designation to Low Density Residential (R2) to facilitate the construction of a duplex on the property.

cao@kensington.ca

From: kcaseley@kensington.ca
Sent: Wednesday, April 27, 2022 8:39 AM
To: Sharon MacEwen
Cc: cao@kensington.ca
Subject: RE: rezoning

Good morning,

Thank you for sending this along. As discussed yesterday, we will evaluate which process is best suited to move your request along and be in touch. I anticipate this going to the May 9th Town Council meeting for their consideration.

Cheers,

Kim

From: Sharon MacEwen <sharonmacewen3@gmail.com>
Sent: Tuesday, April 26, 2022 4:28 PM
To: kcaseley@kensington.ca
Subject: rezoning

Hi Kim, just a follow up regarding our discussion earlier today! I would like to apply to rezone property # 762559 on Rosewood Drive, Kensington from a Zone #1 (residential R1) to a Zone #2 (duplex R2) . If you could forward this information to your council on my behalf that would be greatly appreciated . Hope to hear from you soon and thanks for your help and guidance.

Thank you

Sharon MacEwen (902-439-0754)

From: Hope Parnham <hparnham@outlook.com>
Sent: Friday, May 6, 2022 9:08 AM
To: cao@kensington.ca; kcaseley@kensington.ca
Subject: Re: Development Bylaw & OP Review

Good morning Geoff

I have reviewed the application and IRAC files associated with the parcel (PID No. 762559, Lot B36). Unfortunately because I am travelling today, I'm not going to have time to complete a full report for you today but I am comfortable recommending that council proceed to a public meeting on the application for the following reasons:

- the property meets the minimum requirements of the R2 zone;
- the Official Plan supports residential development of various types and more specifically, development "to accommodate the projected and potential housing needs of the Town."; and
- the street in question is already developed with a range of housing types including semi-detached dwellings on the adjacent lot.

The public meeting is an important step in the rezoning process as it allows anyone with questions or concerns to express their opinions on the application. In this case, considering the previous IRAC decision, the input received by the public will be of particular importance to the final decision on the application.

Please feel free to include a copy of this email with the council package. If council proceeds with the public meeting, I will review the comments received from the public and will prepare a final report on the application at that time.

Best regards
Hope

From: cao@kensington.ca <cao@kensington.ca>
Sent: May 2, 2022 3:03 PM
To: Hope Parnham <hparnham@outlook.com>; kcaseley@kensington.ca <kcaseley@kensington.ca>
Subject: RE: Development Bylaw & OP Review

Hi Hope

We've received an application to re-zone a parcel of property along Rosewood Drive (PID No. 762559, Lot B36 on the attached map). The parcel is currently zoned single residential and the property owner (who is also the resident owner of an adjacent parcel) would like it zoned to low-density to facilitate the construction of a duplex. At this point, we are informed that the duplex would house their children in both units.

This property was the subject of an IRAC appeal back in 2010 where the original land developer wanted the property zoned R2. Town Council denied the application at that time, which was confirmed by IRAC. I anticipate there may be some appetite to re-zone the property to R2 at this time, since there are several duplexes located in the vicinity and it may be more palatable by residents in the area.

Is it possible you can complete an initial review of the application this week (before Friday if possible 🙏)? I would like to put the application before Town Council at their upcoming meeting on May 9th, for their consideration of directing staff to proceed to a public meeting.

**Town of Kensington
Minutes of Public Meeting
Thursday, June 16, 2022
6:00 PM**

Presiding: Mayor Rowan Caseley

Council Members Present: Councillors Mann, Toombs, MacRae, and Spencer

Staff Members Present: Town Manager/Administrator, Geoff Baker; Deputy Administrator, Wendy MacKinnon, Administrative Assistant, Kim Caseley

Regrets: Deputy Mayor Pickering and Councillor Gallant

Visitors: Nil

Mayor Caseley called the meeting to order at 6:00 PM and explained the purpose of the meeting.

PURPOSE:

The purpose of this meeting is to allow residents and other interested persons an opportunity to make representation concerning the following proposed amendment to the Town of Kensington's Official Plan and Zoning and Subdivision Control (Development) Bylaw:

- To re-zone PID No. 762559 (Lot B36 – Rosewood Drive) from Single Residential (R1) to Low Density Residential (R2) for the purpose of constructing a semi-detached (duplex) residential dwelling.
- To amend the Official Plan General Land Use Map in order to accommodate the above zoning designation.

Mayor Caseley outlined the Bylaw amendment process for the meeting attendees:

The proposed Bylaw amendment was initially considered by Town Council at their regular Council meeting, held on May 9, 2022 where Town Council authorized staff to move the proposed amendment forward to a public meeting to solicit comments/feedback from the community.

A notification ad was placed in the Guardian newspaper on June 4, 2022, in accordance with the PEI Planning Act and the Town's Development Control Bylaw.

In addition to the newspaper ad, notification letters were delivered to all property owners within 500 feet of the subject property, as required by the Town's Development Control Bylaw.

A copy of the notification letter and a location map of the subject property are available this evening for public viewing.

Following this public meeting, staff will have a report completed for Town Council prior to their formal consideration of the amendment which is planned for July 11, 2022.

Mayor Caseley opened the floor for public comments on the application.

There were no public in attendance and no comments/questions.

Moved by Councillor Toombs, seconded by Councillor MacRae that there being no further questions or comments on the proposed Development Control Bylaw amendment the meeting adjourned at 6:00 PM.

Geoff Baker,
Chief Administrative Officer

Rowan Caseley,
Mayor



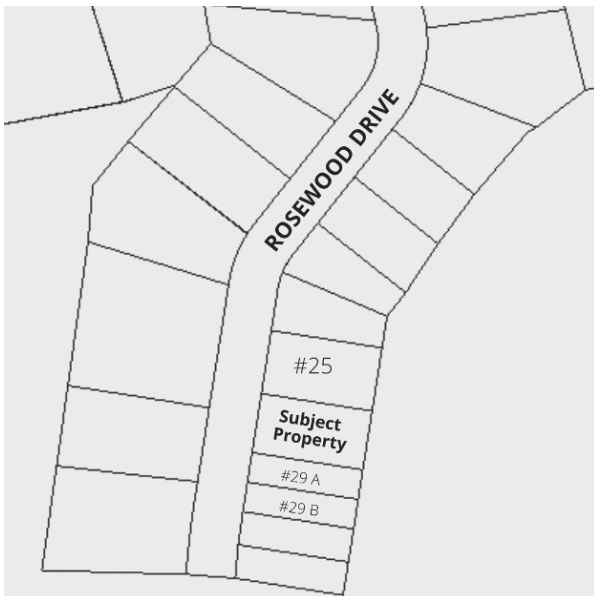
Town of Kensington

Notice of Public Meeting

Take notice that, pursuant to the Planning Act and the Town of Kensington's Zoning and Subdivision Control (Development) Bylaw, a Public Meeting will be held at 6:00 PM on Thursday, June 16, 2022, at the Murray Christian Education Centre, 17 School Street, Town of Kensington.

The purpose of the meeting is to allow residents and other interested persons an opportunity to make representation concerning the following amendment to the Town of Kensington's Official Plan and Zoning and Subdivision Control (Development) Bylaw and the applicants request for a variance as follows:

- To re-zone PID No. 762559 (Lot B36 – Rosewood Drive) from Single Residential (R1) to Low Density Residential (R2) for the purpose of constructing a semi-detached (duplex) residential dwelling.



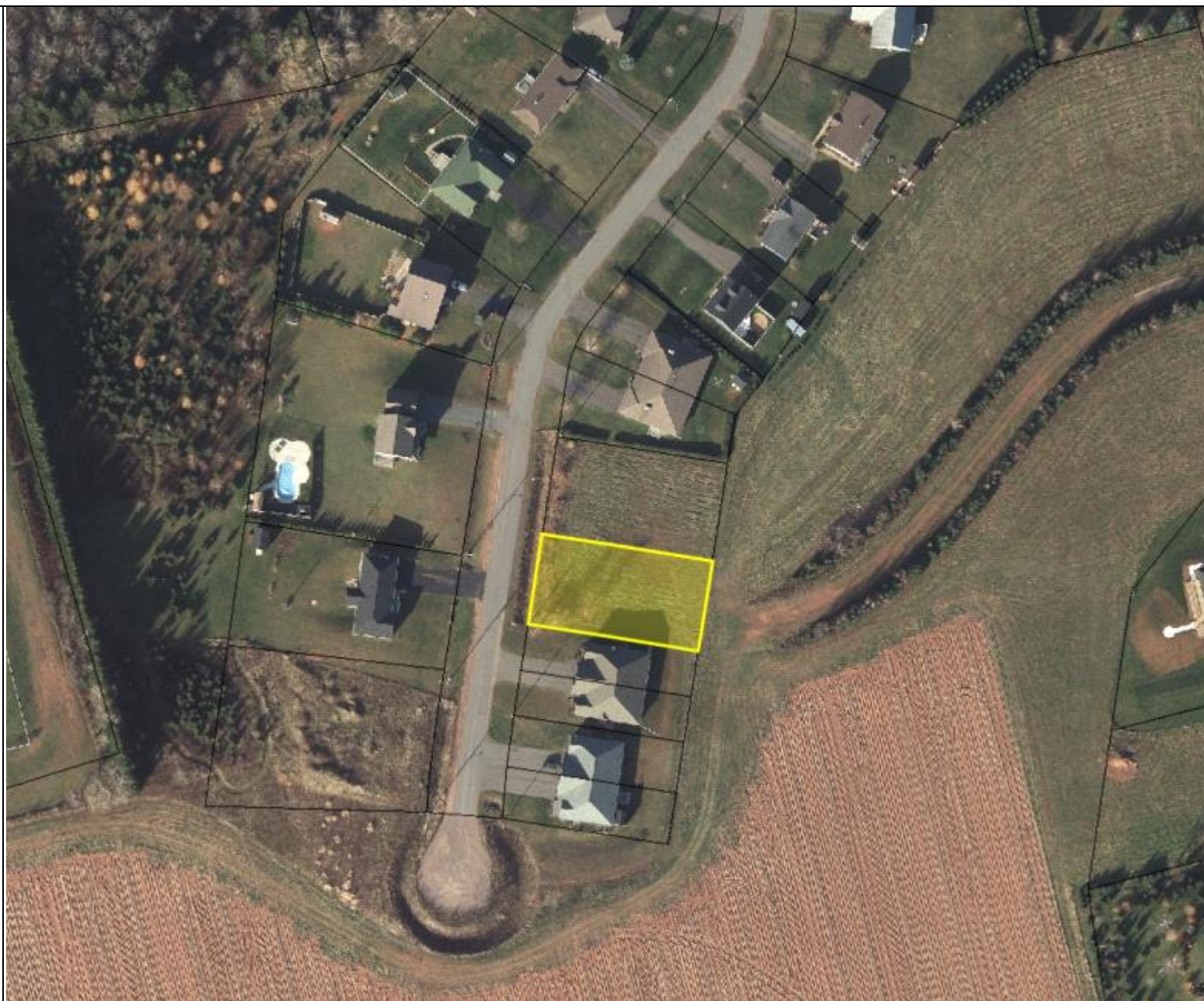
- To amend the Official Plan General Land Use Map in order to accommodate the above zoning designation.

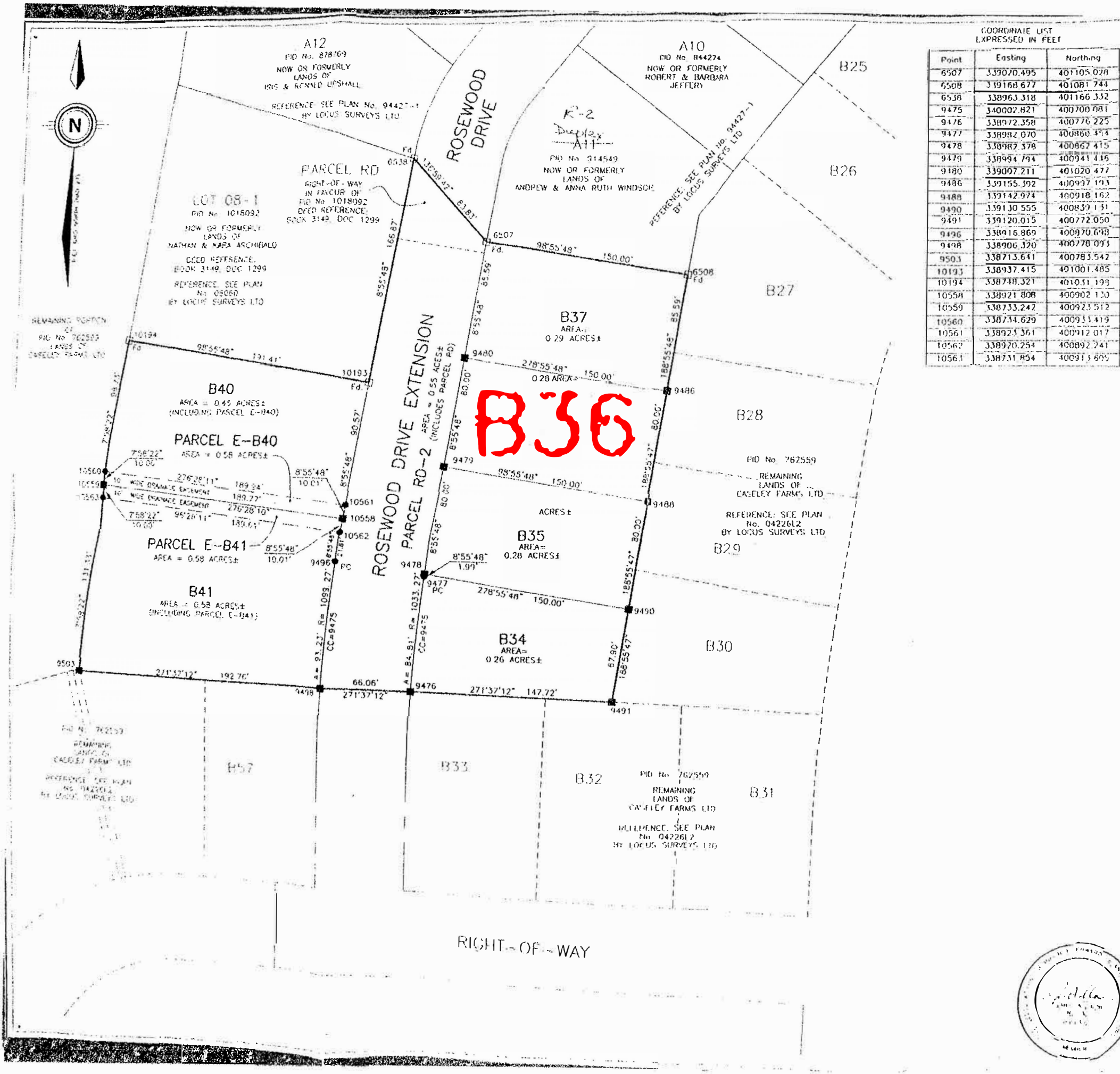
A hardcopy of the Town's Zoning and Subdivision Control Bylaw is available at the Kensington Town Hall or electronic versions can be downloaded from the website at: <http://kensington.ca/>. A copy of the application is also available for viewing at the Kensington Town Hall.

Geoff Baker
Chief Administrative Officer

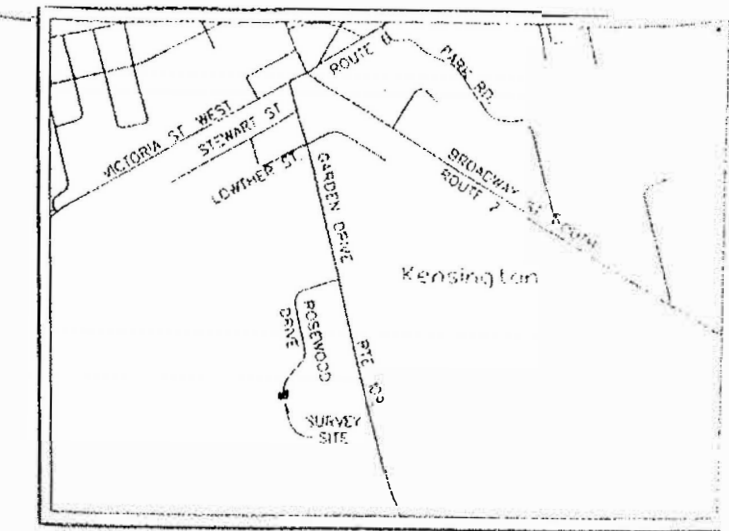
Lot B36 Rosewood Drive

Property





COORDINATE LIST EXPRESSED IN FEET		
Point	Easting	Northing
6507	339070.495	401105.028
6508	339168.677	401081.744
6538	338963.318	401166.332
9475	340002.821	400700.081
9476	338972.358	400776.225
9477	338982.070	400860.454
9478	338987.378	400867.415
9479	338994.794	400941.416
9480	339007.211	401020.477
9486	339155.392	400937.193
9488	339142.074	400918.162
9490	339130.555	400839.131
9491	339120.015	400772.050
9496	338916.869	400970.698
9498	338906.320	400778.093
9503	338713.641	400783.542
10193	338937.415	401001.485
10194	338748.321	401031.193
10558	338921.808	400902.130
10559	338733.242	400923.512
10560	338734.629	400933.419
10561	338923.361	400912.017
10567	338920.254	400892.741
10568	338731.854	400913.695



KEY PLAN
1:50,000

- SCHEDULE "A"**
LEGEND
- FOUND SURVEY MARKER
 - PLACED SURVEY MARKER
 - FOUND
 - LANDS DEALT WITH BY THIS PLAN
 - RADIUS
 - CENTRE OF CURVATURE
 - LENGTH OF ARC
 - POINT OF CURVATURE
 - WITNESS
 - CALCULATED POINT
 - HYDRO POLE
 - FENCE
- NOTES**
1. THE FIELD WORK FOR THIS SURVEY WAS COMPLETED ON OCTOBER 5, 2013.
 2. FIELD MEASUREMENTS HAVE BEEN ADJUSTED BY THE LEAST SQUARES RULE AND SCALE FACTOR HAS NOT BEEN APPLIED.
 3. AZIMUTHS ARE GRID.
 4. ALL GRID AZIMUTHS AND COORDINATES ARE REFERENCED TO THE PRINCE EDWARD ISLAND STEREOGRAPHIC PROJECTION, EPOCH 10 JULY 1, 1979.
 5. ALL DIMENSIONS ARE GIVEN IN FEET, UNLESS NOTED.

LOCUS SURVEYS LTD.

8 PARK ROAD
P.O. BOX 15
KENSINGTON, P.E.I.
C1B 1H0

PHONE 362-4681 FAX 362-4681
TOLL FREE NUMBER 1-800-362-4681

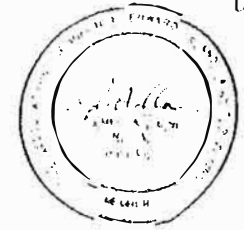
PLAN OF SURVEY SHOWING
LOTS B34 TO B37,
LOTS B40 & B41,
BEING A SUBDIVISION OF LANDS OF
CASELEY FARMS LTD.

SCALE 1" = 50'

KENSINGTON
PRINCE COUNTY

LOT 19
P.E.I.

DRAWN BY: N. GALLANT, C.E.T. ORTHO No. 11L 05 6E2
DRAWING No. 09258A P.L.D. No. 762559

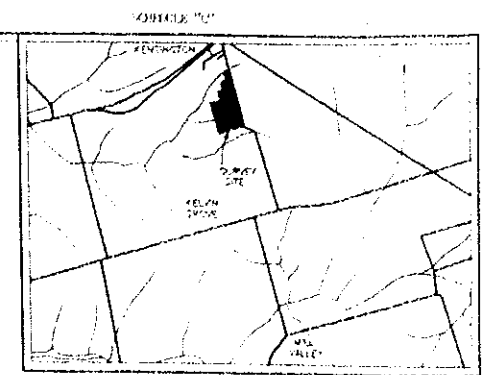


I, N. GALLANT, C.E.T., do hereby certify that the above was prepared under my direction and supervision, and that this plan is a true and correct representation of the same.

N. Gallant
N. GALLANT, C.E.T.
KENSINGTON, P.E.I.



- NOTES**
- 1. CONTOURS WERE OBTAINED FROM 1:5000 DEMOS AND PHOTOGRAMMETRY
 - 2. CONTOURS ARE IN 2M INTERVALS



KEY PLAN
1:50,000

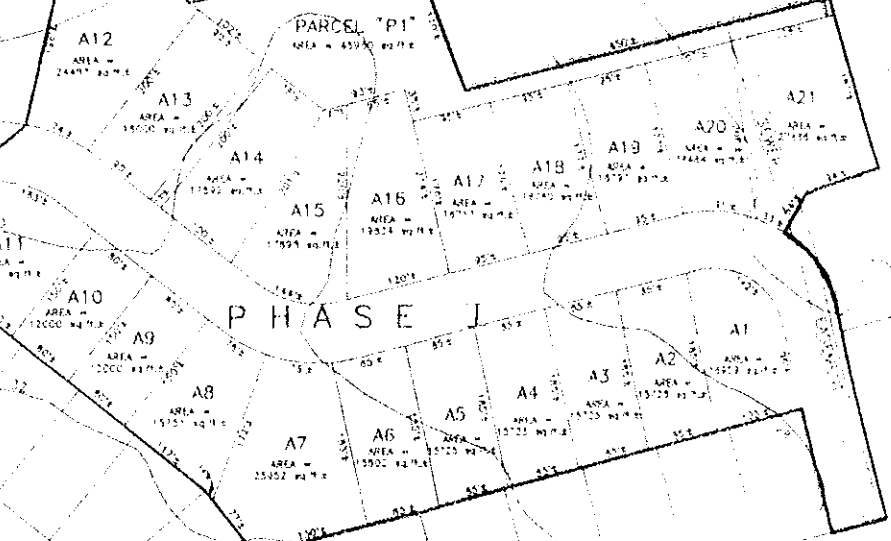
66' WIDE R.O.W.

66' WIDE R.O.W.

66' WIDE R.O.W.

KELVIN GROVE ROAD

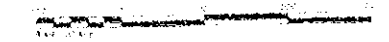
PHASE I



LOCUS SURVEYS LTD.

PLAN SHOWING THE PROPOSED
PRINCETON SUBDIVISION

SCALE 1" = 100'



KENSINGTON
PRINCE COUNTY
DRAWN BY: D.C.
DRAWING NO. 3442/11
PREPARED BY:

PRELIMINARY PLAN ONLY

NAVIGATOR NEWS

Monthly Newsletter of the PEI Community Navigators,
an initiative of CBDC West Prince Ventures

IN THIS ISSUE...

Welcome from
Maxine Rennie
PAGE 1

Newcomers in the News
PAGE 2

Coming up in August
PAGE 3

Resources in PEI
PAGE 4



Individuals and families who choose to settle in rural PEI offer **incredible value to the communities that they settle**. In each of our numerous communities dotting the coastline or the inland rolling hills of our Island, you'll find a diverse group of community members who settled in PEI or were born as Islanders, **coming together to help each other and create a prosperous and fulfilling life in Rural PEI**.



**Message from Maxine Rennie
Executive Director
CBDC West Prince Ventures**

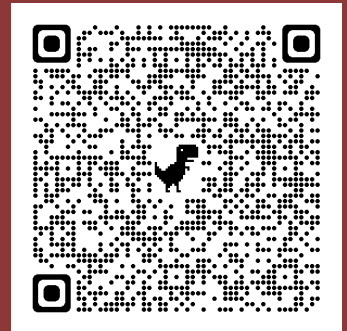
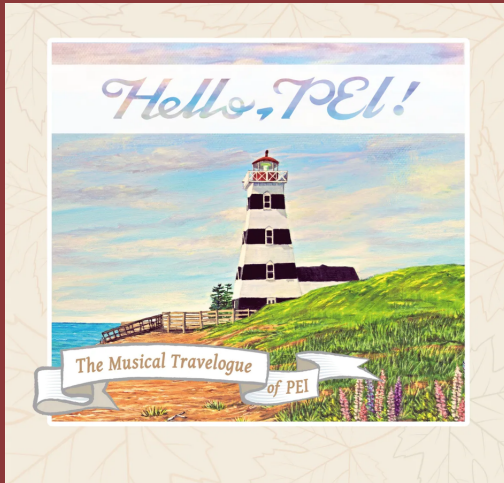
This summer on PEI has been wonderful so far, and we hope that you have been able to experience it, whether your preference is a beach in Eastern Kings, the boardwalks of Cavendish, or the piers of Northport. Across PEI you'll find treasures to explore in each of our rural communities, worth travelling across the island for. Throughout the summer months, the PEI Community Navigators are still here to help with your settlement needs. Visit Scott in Alberton, Peggy in Kensington, and Lindee in Montague.

~Maxine Rennie

Newcomers in the News

Articles by Thinh Nguyen of CBC PEI

Hello PEI is a musical travelogue showcasing the seasons and landscapes, as well of the kindness of the people of this island. Eastern PEI residents Tzu Cheng Wang and Kui Chi Ma, sat down with CBC reporter Thinh Nguyen to discuss their new album and the meaning behind the scores of violin and cello music.



Click on or hover your phone camera over this QR code to read the full story on CBC.ca



The 'About Monks' Facebook Page is always an active page to find out about local initiatives and campaigns that the monks of the Great Enlightenment Buddhist Institute Society (or GEBIS for short) have chosen to focus their efforts on. The page often shares about their "End Hunger in PEI" campaign, as well as their sign up forms for food boxes, thanks for their committed volunteers within and outside of the Buddhist community, and of course, their flowers. In the CBC article, Venerable Dan speaks to Thinh Nguyen about their drive to continue their efforts, regardless of the rising food costs. We're thankful to have the new residents of our communities putting forth such huge efforts to improve the wellbeing of islanders!



Click on or hover your phone camera over this QR code to read the full story on CBC.ca



Coming up in **AUGUST**

Coming up on **August 16th**, Lindee Gallant will be hosting "**Come Try Paddleboarding**" in Souris with Go!East, during the evening hours! Lindee would LOVE if you would come join her and make new connections at the **Gateway Park in Souris**! Just look for the East Coast Paddle Adventures beach shack! Want to get involved in Eastern PEI Community Navigator activities? Contact Lindee at:
Telephone: 902-969-5989
Lindee.Gallant@cbdc.ca
Facebook Group - search for:
Eastern PEI Community Navigator
Office: 544 Main Street, Montague



'Pal up with Peggy', The PEI Community Navigator for rural, central PEI. Are you new to the community? **Would you like to attend community activities and meet new people?** Watch the Central PEI Community Navigator Facebook Group to see where Peggy will be popping up next. It could be at a library program, business mixer or community festival. Peggy can meet you at the event, introduce you to other participants and share more about resources available in the community.

Interested in 'palling up with Peggy'?

Telephone: 902-598-7560

Peggy.Miles@cbdc.ca

Facebook Group - search for:

Central PEI Community Navigator

Office: Kensington Town Hall (upstairs)

55 Victoria Street East

See you out there, Pals!



The Western PEI Community Navigator is hosting a **Summer Asia Market on July 30th at the Prince County Exhibition Grounds**, and invites you to come out to meet all of the new business owners in Western PEI! There will be items for sale from the new businesses, as well as games and fun for children!

Want to get involved in Western Community Navigator activities?

Contact Scott at: Telephone: 902-853-3636

Email: Scott.Smith@cbdc.ca

Facebook Group - search for:

Western PEI Community Navigator

Office: 455 Main Street, Alberton, PEI





PEI Community Navigators
in Partnership with
The Prince County Exhibition
Present
Summer Asia Market 2022!





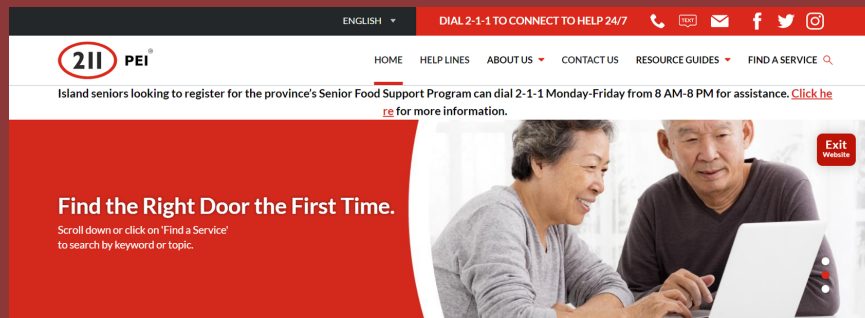
When: Saturday, July 30th, 2022 from 12 PM to 4 PM
Where: Prince County Exhibition Grounds - IN the Jacques Cartier Arena:
349 Church St, Alberton, PE C0B 1B0

Items for purchase, games & fun for children.
Stop by, say hello and introduce yourself to some of PEI's newest residents!

Available in rural PEI:

211 PEI Service

The PEI Community Navigators met with 211 PEI coordinator, Treena Smith in July. Did you know that 211 is a CANADA WIDE service? In PEI, the service is both a phone service and an interactive website. If you have questions like 'where is my local foodbank', or 'where can I drop off clothing donations in rural PEI', you can call 211! Simply dial 2-1-1 on your phone.



Volunteer Opportunities

The PEI Community Navigators are facilitating English language training in all 3 rural regions of the province. If you have been searching for a way to give back to your community, the PEI Community Navigators can provide you with training materials to get your started! There are newcomers in many of our small communities who could use your help!



The PEI Community Navigators can also connect you with many other volunteer opportunities. Love hiking? Lead a group with Go!PEI! Love science? Join up with the awesome groups like STEAM and LetsTalkScience. Your community festivals and parades are all run by volunteers, and so are all of the minor sports like soccer, baseball, hockey, ringette, and more! If you're interested in being involved, speak to your Community Navigator today!

Canadian
Home Builders'
Association

Prince Edward Island

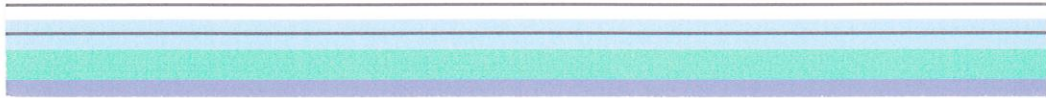


THANK
YOU
FOR YOUR SUPPORT

Corinne!!
CLO

Olivia

Thank you for sponsoring the Annual
CHBA-PEI Golf Tournament! Your
support was greatly appreciated and
helped us host an amazing event in
support of Habitat for Humanity PEI!



Thank You



Thank you!

I appreciate the scholarship
you have given me and
wanted to thank you.

I am looking forward to
school next year and this
will definitely help me.

Being from Kensington,
this means a lot!

Thanks again.

Rinnah Stokes ☺

With heartfelt thanks.



CORRESPONDENCE

July 2022

Mayor Rowan Caseley
Town of Kensington
P.O. Box 418
Community Center
Kensington, PE C0B 1M0

Dear Mayor Caseley,

We want you to know that your support is keeping your hospital vibrant. Your contributions not only ensure priority medical equipment is replaced, as needed; they also help to keep PCH attractive for recruitment of new nurses and doctors. The tools are here when they need them and your hospital is on the cutting edge thanks to your gifts. In fact, visiting physicians working at PCH are often pleasantly surprised by the quality and breadth of the technology they have access to here.

Your pledge contribution this year will continue this great work and go a long way in keeping PCH vibrant and viable as you help to replace essential pieces throughout PCH like patient beds. You will also make an impact as services grow with the additional mobile x-ray unit we will add this year. And you will help to keep Ultrasound technology up-to-date as we replace all three units in Diagnostic Imaging with new state-of-the-art models.

So, this letter is a mere "thank you" for your ongoing support and an update on all of the incredible work you are making possible at your hospital.

If at any time you wish to discuss your giving or our programs here at the PCH Foundation, you need only call.

Best wishes for a lovely summer,

Heather Matheson
Managing Director
PCH Foundation

GETTING BETTER together

IT'S WHAT'S INSIDE THAT COUNTS!

Not just for use during pregnancy, ultrasound is used for many things at PCH each day ranging from aneurysm detection to locating gallstones, blood clots, breast exams and vascular studies. and has become a widely used diagnostic tool. Meaghan Noye, Sonographer at PCH says, "The machines that we will be getting are amazing! We will be getting some new imaging packages on the machines that may allow us to expand the scope of exams that we currently perform."

Ultrasound Machines - \$525,000



YOUR HELP IS ESSENTIAL

A mobile Digital Radiography machine is key at PCH. This unit on wheels can travel around PCH in the event that a patient cannot come down to the Diagnostic Imaging department. Demand for this services has increased in so much that PCH requires an additional machine to complement the one funded by donors in 2019. Once installed it can perform many scans at bedside, including x-rays of extremities and some vital organs.

Mobile X-Ray Unit - \$200,000

vital signs

Greatest Needs Appeal 2022

Ambulatory Care

Phlebotomy Machines (2)	\$3,000.00
Vital Signs Machines(2)	\$8,400.00
Ceiling Mounted Procedure Light	\$3,000.00

Diagnostic Imaging

Mobile Portable X-Ray Machine	\$200,000.00
2 Transvaginal Probes	\$28,500.00
Ultrasound Machines (3)	\$525,000.00

Dialysis

Vital Signs Monitor	\$4,200.00
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Emergency Department

Stretchers (3 regular and 1 bariatric)	\$34,800.00
Chest Compression System	\$17,000.00
Vital Signs Machines (4)	\$16,800.00
Medication Cart	\$11,000.00
Transport Stretcher and Mattress (2)	\$15,200.00

Intensive Care Unit

Bariatric Stretcher	\$8,000.00
Mechanical Ceiling Lifts (2)	\$10,000.00
Temporary External Pacemaker	\$7,410.00

Laboratory

Formalin Recycler	\$23,000.00
Freezer	\$10,000.00

Maternal Child Care Unit

Bladder Scanner	\$13,000.00
Sleeper Chairs (2)	\$4,000.00
Simulation - Baby	\$61,000.00
Simulation - Newborn	\$36,400.00

Medical Device Reprocessing Department

Cart Washer	\$263,000.00
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Medical/Palliative

Bladder Scanner & Cart	\$13,400.00
Commode with Recline/Tilt	\$2,600.00

Nutrition Services

Computerization of Nutrition Services	\$150,000.00
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Nursing

Medication Carts (26)	\$232,000.00
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Rehabilitation Services

Dry Flotation Support Service Kit	\$5,500.00
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Surgery/Restorative

New Furniture for 2 Patient Lounges	\$7,500.00
Sit Bath/Tub (Surgery & Medical)	\$60,000.00
Ceiling Lift for Tub Room	\$40,000.00

Surgical Services


Vascular Instruments (OR)	\$42,000.00
Stirrups (OR)	\$13,700.00
Vital Signs Machines (5)	\$21,000.00
CO ² Insufflator	\$6,400.00
Ceiling Lift	\$21,000.00
Radio Frequency Machine	\$40,000.00
Urology Laser	\$80,000.00

Various Departments

Beds	\$205,000.00
Nurse Call/Patient Care System	\$165,000.00

Greatest Needs Total - \$2,391,810.00

YOUR HELP MATTERS




2 C Barrett St.
Kensington.

To Mayor Rowan Casdey
and council

Ladies and gentlemen,

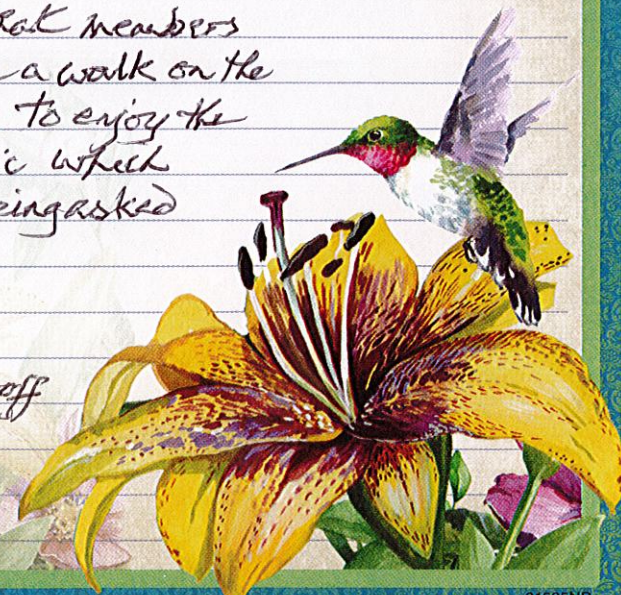
You will be aware
- if you take a walk on Barrett Street
that this street is signed 50K

All the time the street was
being paved recently I had it in
my mind to drop in a letter
to your office suggesting that
Barrett be given a 40K
speed limit.



I suggest that members
of council take a walk on the
new sidewalk to enjoy the
speeding traffic which
residents are being asked
to negotiate.

Sincerely,
Sally Blake Hooff



From: mayor@kensington.ca
Sent: August 3, 2022 7:29 AM
To: mail@kensington.ca
Subject: Fwd: Parking lot

Correspondence for Monday night please.

Sent from my iPhone

Begin forwarded message:

From: Kensington and Area Chamber of Commerce <kensingtonandareachamber@gmail.com>
Date: August 3, 2022 at 7:23:49 AM ADT
To: mayor@kensington.ca, cao@kensington.ca
Subject: **Parking lot**

Good morning Rowan & Geoff

I wanted to say how great the parking lot and street look after they have been paved.

The Town is looking really nice and there are some exciting things happening with events and business growth. Just wanted to send a personal note that I think the staff and council are doing a great job! Thank you for all you do!

Have a great day!

Julie