



***Agenda for Regular  
Meeting of Town Council***

***Monday, June 9<sup>th</sup> , 2025 @ 7:00 PM***

*55 Victoria Street  
Kensington, PEI  
C0B 1M0  
Phone: (902) 836-3781  
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Web Site: [www.kensington.ca](http://www.kensington.ca)*

***Please ensure all cell phones and other electronic devices are turned  
off or placed on non-audible mode during the meeting.***

**Town of Kensington  
Regular Meeting of Town Council  
Monday, June 9, 2025 – 7:00 PM**

- 1. Call to Order/Land Acknowledgement**
- 2. Adoption of Agenda (Additions/Deletions)**
- 3. Declaration of Conflict of Interest**
- 4. Delegations, Special Speakers, and Public Input**
- 5. Adoption of Previous Meeting Minutes**
  - 5.1 May 12, 2025, Regular Meeting
- 6. Business Arising from Minutes**
  - 6.1 May 12, 2025, Regular Meeting
- 7. Reports**
  - 7.1 Chief Administrative Officer Report
  - 7.2 Fire Department Report
  - 7.3 Police Department Report
  - 7.4 Development Permit Summary Report
  - 7.5 Bills List – Town - *Nil*
  - 7.6 Bills List - Water and Sewer Utility - *Nil*
  - 7.7 Bills List – Capital - *Nil*
  - 7.8 Consolidated Summary Income Statement -Town and Water and Sewer Utility - *Nil*
  - 7.9 Credit Union Centre Report
  - 7.10 Mayor’s Report
  - 7.11 Federation of Prince Edward Island Municipalities Report – Councillor Mann

7.12 Kensington and Area Chamber of Commerce Report – Councillor MacRae

**8. New Business**

8.1 Request for Decisions

8.1.1 RFD2025-23 - Development Permit Application – Mobile Classroom at Queen Elizabeth Elementary School

8.1.2 RFD2025-24 - PEI Rural Growth Initiative – Capital Assistance Application

8.1.3 RFD2025-25 - Reallocation of Canada Community Building Fund Project – Playground Infrastructure

8.1.4 RFD2025-26 - Rural Beautification Society Annual Sponsorship

8.1.5 RFD2025-27 - Community Safety Net – Partners in Safety – Request for Financial Support

8.2 Other Matters

**9. Correspondence**

**10. Committee of the Whole (In-Camera) – *One item under Section 119(1)(b) of the Municipal Government Act***

**11. Adjournment**

**Town of Kensington  
Minutes of Regular Council Meeting  
Monday, May 12, 2025  
7:00 PM**

**Council Members Present:** Mayor, Jeff Spencer; Deputy Mayor Rodney Mann;  
Councillors: Wade Toombs, Ivan Gallant, Bonnie MacRae, and  
Tyler Doucette

**Staff Members Present:** Acting CAO, Wes Sheridan; Manager of Finance Nancy  
MacRae (Virtual attendance via Microsoft Teams)

**Visitors:** Nil

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**1. Calling of Meeting to Order**

**1.1** Mayor Spencer called the meeting to order at 7:00 PM and welcomed Council members, staff, and visitors to the April meeting of Kensington Town Council. Mayor Spencer acknowledged that the land on which we gather is the traditional and unceded territory of the Mi'kmaq First Nation.

**2. Approval of Tentative Agenda**

**2.1** *Moved by Councillor Gallant, seconded by Councillor Toombs to approve the tentative agenda for the May 12, 2025, regular meeting of Town Council.*

*Unanimously carried.*

**3. Declaration of Conflict of Interest**

**3.1** Councillor Gallant declared a conflict with item 8.1.4 – Kensington Pickleball Request

**4. Delegations / Presentations**

**4.1** Nil.

**5. Approval of Minutes of Previous Meeting**

**5.1** *Moved by Councillor MacRae, seconded by Councillor Toombs to approve the minutes from the April 14, 2025 regular meeting of Town Council. Unanimously carried.*

**6. Business Arising from Minutes**



**6.1 April 14, 2025 Regular Meeting**

**6.1.1 Nil.**

**7. Reports**

**7.1 Chief Administrative Officer Report**

**7.1.1** *Moved by Councillor Gallant, seconded by Councillor Toombs to approve the May Chief Administrative Officer's Report, as prepared by Acting CAO, Wes Sheridan.*

**7.2 Fire Department Statistical Report**

**7.2.1** *Moved by Councillor Toombs, seconded by Councillor Gallant to approve the April 2025 Fire Statistical report as prepared by Fire Chief, Rodney Hickey. Unanimously carried.*

**7.3 Police Department Statistical Report**

**7.3.1** *Moved by Councillor MacRae, seconded by Councillor Toombs to approve the April 2025 Police Statistical Report as prepared by Chief Landon Yuill. Unanimously carried.*

**7.3.2** Councillor Doucette inquired about the old police cruiser. The CAO indicated that the police department are currently assessing two options for the vehicle; providing it to the Atlantic Police Academy in exchange for training credits or utilizing it as an off-service vehicle to travel to meetings, court, etc.

**7.4 Development Permit Summary Report**

**7.4.1** *Moved by Councillor Gallant, seconded by Councillor Toombs to approve the May 2025 Development Permit Summary Report as prepared by Municipal Clerk, Kim Caseley. Unanimously carried.*

**7.5 Bills List Town (General)**

**7.5.1** *Nil.*

**7.6 Bills List Water & Sewer Utility**

**7.6.1** *Nil.*

**7.7 Bills List Capital Expenditures**

**7.7.1 Nil.**

**7.8 Summary Income Statement**

**7.8.1 Nil.**

**7.9 Credit Union Centre Report**

**7.9.1** *Moved by Councillor Toombs, seconded by Councillor MacRae to approve the Credit Union Centre report for the month of April 2025. Unanimously carried.*

**7.9.2** Councillor Gallant inquired about the status of the bleacher repairs and the repair of one net. The CAO indicated that staff had investigated the bleachers and completed repairs accordingly.

**7.10 Mayor's Report**

**7.10.1** *Moved by Councillor Toombs, seconded by Councillor MacRae to approve the Mayor's report for the month of April 2025 as presented by Mayor Spencer. Unanimously carried.*

**7.10.2** Mayor Spencer thanked the Queen Elizabeth Elementary School for the invitation to participate in the grades 4, 5, and 6 vote and the recent visit by the Easter Seals Ambassador.

**7.11 Federation of PEI Municipalities (FPEIM) Report – Deputy Mayor Mann**

**7.11.1** Deputy Mayor Mann indicated that the Canoe Procurement Group are currently sourcing Canadian Vendors to aid in Municipal procurement processes.

**7.11.2** The FPEIM are hosting two Leadership Workshops on Thursday, June 5<sup>th</sup>, facilitated by Governance Expert, Gordon McIntosh.

**7.12 Kensington Area Chamber of Commerce (KACC) Report**

**7.12.1** The KACC Annual Presidents Casino Night held on April 25<sup>th</sup> at Clinton Hills was well attended by 75 to 80 people.

**7.12.2** The KACC Trivia event was held on May 31 at the New London Community Complex.

**7.12.3** The Open Members meeting was held on May 13<sup>th</sup> at the Indian River Festival Pavilion.

**8. New Business**

## **8.1 Request for Decisions**

### **8.1.1 Development Permit Application - Island Structural Systems**

#### **8.1.1.1 Moved by Deputy Mayor Mann, seconded by Councillor Toombs**

*WHEREAS Island Structural Systems Inc. has been forced to purchase a 7<sup>th</sup> lot in our Business Park due to unforeseen circumstances, which impacts their budget for this development of this property;*

*AND WHEREAS Lot 25-1 was recently impacted by a new easement allowing a sewerage connection be run across the property for solid Town planning purposes;*

*AND WHEREAS the applicant has requested a reduction in purchase price on Lot 25-1;*

*BE IT RESOLVED THAT Kensington Town Council approve a \$10,000.00 reduction in price amounting to a final purchase price of \$115,000.00.*

*BE IT FURTHER RESOLVED THAT Kensington Town Council agree to extend the existing property tax incentive to pertain to the purchase of Lot 25-1.*

#### **8.1.1.1 Moved by Deputy Mayor Mann, seconded by Councillor Gallant**

*WHEREAS Island Structural Systems Inc. has submitted a revised Development Permit application for the construction of a 60' x 160' main building on PID No. 1164805 (Lot 25-1) in the Kensington Business Park;*

*AND WHEREAS the proposed use is permitted in the M1 – Industrial Zone under Section 5.5 of the Town of Kensington Land Use and Development Bylaw, and more than one main building is permitted on a lot under Section 3.15(1);*

*AND WHEREAS the proposed development complies with all applicable provisions of the Bylaw except for the required front yard setback under Section 5.6(1);*

*AND WHEREAS the applicant has requested a variance to reduce the front yard setback from 4.5 metres (14.8 feet) to 2.4 metres (8 feet), representing a variance of approximately 46% (6.8 feet), and Council*

*has the authority under Section 2.15(4) to approve such a variance where it is deemed desirable and appropriate;*

*AND WHEREAS Council acknowledges that the notification process outlined in Section 2.15(5) was not formally followed, but that staff have directly contacted the affected property owners within 150 metres, and no objections have been received;*

*BE IT RESOLVED THAT Kensington Town Council approve a variance under Section 2.15(4) of the Town of Kensington Land Use and Development Bylaw to reduce the required front yard setback for the proposed main building on PID No. 1164805 (Lot 25-1) from 4.5 metres (14.8 feet) to 2.4 metres (8 feet);*

*BE IT FURTHER RESOLVED THAT Kensington Town Council approve the revised Development Permit application submitted by Island Structural Systems Inc. for the construction of a 60' x 160' main building on PID No. 1164805 (Lot 25-1) subject to the following conditions:*

- *The consolidation of the subject lots into a single parcel.*
- *Submission and approval of a site drainage plan.*

*Unanimously carried.*

#### **8.1.2 2025 Queer Ride and Meet up Donation**

**Moved by Councillor Toombs, seconded by Councillor Doucette**

*BE IT RESOLVED THAT Kensington Town Council sponsor the PEI 2025 Queer Ride and Meet Up at the Destination Sponsor Level in the amount of \$480.00.*

*Unanimously Carried*

#### **8.1.3 2025 Exempt Staff Wage Increase**

**Moved by Councillor Doucette, Seconded by Councillor MacRae**

*BE IT RESOLVED THAT Town Council authorize the Chief Administrative Officer to provide a wage increase, effective April 1, 2025, to exempt staff including the Deputy Administrator/Finance Manager, Municipal Clerk, Administrative Assistant, Police Chief, Police Sargent, Public Works Supervisor, Credit Union Centre Manager, and Credit Union Centre Assistant Manager in an amount up to 2.7%, according to the Non-Union Employee Handbook.*

*Unanimously Carried.*

*Councillor Gallant declared a conflict of interest and left the chambers at 7:45 pm.*

#### **8.1.4 Kensington Pickleball Request**

*Moved by Councillor Toombs, seconded by Councillor Doucette*

***BE IT RESOLVED THAT Town Council not move forward with the funding request from the Kensington Pickleball Club.***

*Councilor Gallant returned to the Council Chamber at 8:00 pm.*

#### **8.2 Other Matters**

**8.2.1** Councillor MacRae asked when the Firemen's appreciation dinner was scheduled for. Mayor Spencer indicated that it is not currently scheduled and will reach out to the Fire Chief for proposed dates.

**8.2.2** The Town clean-up has been rescheduled to May 17<sup>th</sup> from 9:00 am to 10:30 am.

**8.2.3** An inquiry was made on the clothing donation boxes at the mailbox area of the Credit Union Centre. The CAO indicated that Mayor Spencer had contacted the owners of the bins and gave them until June 1<sup>st</sup> to have the bins removed.

**8.2.4** Councillor MacRae requested that staff complete some upgrades around the pond area to improve the aesthetics of the area.

**8.2.4** Councillor Gallant noted the upcoming election and encouraged residents to take part and represent their community.

**8.2.5**

#### **9. Correspondence**

**9.1** Request from the Kensington Library regarding funding for a security system. – *Denied*

**9.2** Email from Central PEI Navigators regarding Philippine Independence Day – *Received*

**9.3** Email from Queen Elizabeth Hospital regarding the Town of Kensington's annual pledge of \$1000.

#### **10. In-Camera (Closed session)**

**10.1** *One item under 119(1)(b) of the Municipal Government Act, PEI.*

**10.1.1** *Moved by Councillor Toombs, seconded by Councillor MacRae to enter into an In-Camera session at 8:20 pm. Unanimously carried.*

**10.1.2** *Moved by Councillor Toombs, seconded by Councillor Gallant to come out of an In-Camera session at 9:21 pm. Unanimously carried.*

**10.1** *Nil.*

**11. Adjournment**

*Moved by Councillor Toombs, seconded by Councillor Gallant to adjourn the meeting at 9:22 PM. Unanimously carried.*

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Geoff Baker  
CAO

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Jeff Spencer,  
Mayor

# **Chief Administrative Officers Report**

## **June 2025 – Council Meeting**

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### **1. Council By-Election**

The Council By-Election was held on May 26, 2025, with Shawn McCarvill being elected as Councillor. Thank you to Paul Chessman for acting as the Municipal Electoral Officer, Wes Sheridan for acting as Returning Officer, and Amy Morell in the capacity of Poll Clerk. We are thankful to both candidates for putting their names forward and congratulations to Shawn on his election.

### **2. Sale of Business Park Lot**

The sale of Lot 21-5 in the Kensington Business Park to Island Structural Systems (ISS) was finalized on May 23, 2025. We congratulate ISS on their continued expansion.

### **3. Sale of Ice Re-surfacer**

The agreement to facilitate the sale of the current Credit Union Centre Ice-Resurfacer has been drafted and sent to the Bedeque and Area Recreation Association (BARA). Once the agreement is signed and the Town's new ice resurfacer is received, arrangements will be made to transfer ownership to the BARA.

### **4. Ranchland Estates Subdivision**

I continue to work with the developer and their engineering firm on the detailed design of the Ranchland Estates Subdivision. WSP have reviewed the design drawings and have provided comments/required revisions accordingly. I have a meeting scheduled with WSP on Monday, June 9, 2025, and with the developer on Thursday, June 12<sup>th</sup> with the developer.

### **5. Credit Union Centre Manager**

The Credit Union Centre Manager is on leave until July 15<sup>th</sup>, 2025. The Assistant Manager has assumed all managerial duties in his absence.

## **6. Leadership Workshop**

I attended a Leadership Workshop hosted by FPEIM and facilitated by Gordon McIntosh (Governance Expert) on June 5, 2025. The workshop related to aligning service expectations with organizational capacity.

## **7. Canada Community Building Fund (CCBF) Re-Profiling**

A request for decision has been circulated with the tentative agenda package requesting three resolutions of Council to facilitate the re-profiling of the Town's CCBF Capital Investment Plan as follows:

1. Withdrawal of the Roy Panter Park Upgrades project.
2. Authorization to proceed with the submittal of the Centennial Park Playground Project.
3. Authorization to receive CCBF funds from the Rural Municipality of Malpeque to support the Centennial Park Playground project.

## **8. Thank you to Wes Sheridan**

I would like to extend my sincere thanks to Wes Sheridan for stepping into the role of Acting CAO during my recent absence. His leadership and steady hand ensured continuity of operations, and I deeply appreciate his willingness to take on the added responsibility during a challenging time. Thank you, Wes, for your commitment and service to the Town.

**Respectfully Submitted by: Geoff Baker, Chief Administrative Officer**



## Kensington Fire Department Occurrence Report 2025

[illegible]

## Kensington Fire Department May 2025 Fire Report

The Kensington Fire Department responded to 11 calls in May. Following is a breakdown of calls:

| <b>Date</b>                | <b>Call Details</b>                          | <b>Location</b>                    | <b>#<br/>Firefighters</b> | <b>#<br/>Trucks</b> |
|----------------------------|--|------------------------------------|---------------------------|---------------------|
| <b>May.3 at<br/>18:17</b>  | <b>Sight/Smell of smoke</b>                  | <b>Emerald<br/>Plus Croken RD</b>  | <b>9</b>                  | <b>1</b>            |
| <b>May. 7 at<br/>15:00</b> | <b>Vehicle Fire</b>                          | <b>North Freetown</b>              | <b>12</b>                 | <b>2</b>            |
| <b>May 10 at<br/>14:26</b> | <b>Transformer Fire</b>                      | <b>Freetown Rd<br/>Ross Corner</b> | <b>14</b>                 | <b>2</b>            |
| <b>May.16 at<br/>08:34</b> | <b>MFR</b>                                   | <b>Norboro</b>                     | <b>6</b>                  | <b>1</b>            |
| <b>May.17 at<br/>14:41</b> | <b>Trapped Victim Under<br/>Lawn Tractor</b> | <b>Kensington</b>                  | <b>11</b>                 | <b>2</b>            |
| <b>May.19 at<br/>16:00</b> | <b>Fire Alarm</b>                            | <b>Margate River<br/>Crescent</b>  | <b>10</b>                 | <b>2</b>            |
| <b>May.23 at<br/>6:00</b>  | <b>Carbon Monoxide<br/>Alarm</b>             | <b>Kelvin Grove</b>                | <b>12</b>                 | <b>2</b>            |
| <b>May.24 at<br/>06:00</b> | <b>MFR</b>                                   | <b>Kensington</b>                  | <b>7</b>                  | <b>1</b>            |
| <b>May.25 at<br/>09:39</b> | <b>Crash Detection Alarm</b>                 | <b>Kelvin Road<br/>Freetown</b>    | <b>14</b>                 | <b>2</b>            |
| <b>May.26 at<br/>22:23</b> | <b>MVC</b>                                   | <b>Indian River</b>                | <b>12</b>                 | <b>2</b>            |
| <b>May.27 at<br/>16:53</b> | <b>BBQ On Fire</b>                           | <b>Kensington</b>                  | <b>10</b>                 | <b>2</b>            |

**May 6** - Association meeting with 20 present

**MAYI 8** - Training was held with ladder truck and fire hydrant with 19 present

Rodney Hickey,  
Chief

(P.S. Sorry Geoff, just got back from Charlottetown.)

[illegible]

[illegible]

[illegible]

## **Police Report May 2025**

**There were 3 alarm calls to report for this month.**

May 16<sup>th</sup> @ 2215hrs – Kensington Metal, member did not attend.

May 18<sup>th</sup> @ 0902hrs – KISH, member did not attend.

May 31<sup>st</sup> @ 0216hrs – Food basket, member attended.

### **Assistance calls**

KPS assisted with resident dog on the loose.

KPS assisted person with answering some legal questions.

KPS assisted with serving documents for probation services.

KPS assisted RCMP with a traffic complaint May 27

For the period May 01, 2025 to June 06, 2025

Residential Accessory Structure

|  |  |                               |
|--|--|-------------------------------|
|  |  | <b>Sub Total: \$15,000.00</b> |
|--|--|-------------------------------|

|  |  |  |                    |  |  |  |  |  |                               |            |            |            |  |
|--|--|--|--------------------|--|--|--|--|--|-------------------------------|------------|------------|------------|--|
|  |  |  | Monica Jollimore - |  |  |  |  |  | Residential Deck/Fence/ Pools | \$6,000.00 | 05/29/2025 | 06/30/2025 |  |
|--|--|--|--------------------|--|--|--|--|--|-------------------------------|------------|------------|------------|--|

|  |  |                              |
|--|--|------------------------------|
|  |  | <b>Sub Total: \$6,000.00</b> |
|--|--|------------------------------|

**Total: \$21,000.00**





Mailing Address:  
55 Victoria Street E  
PO Box 418  
Kensington, PE  
C0B 1M0  
  
Tel: 902-836-3781  
Fax: 902-836-3741  
Email: CAO@kensington.ca  
Website: www.kensington.ca

| For Office Use Only |  |
|---------------------|--|
| Permit #:           | 06-2025  |
| Date Received:      | May 29 / 25                                    |
| Date Approved:      | May 29 / 25                                    |
| PEI Planning:       |  |
| Permit Fee: \$      | 50.00 <input checked="" type="checkbox"/> Paid |

DEVELOPMENT PERMIT APPLICATION

1. Property Information

Project Address: 12 Rosewood Drive      Property Tax Number (PID): 847772  
Lot No.:      Subdivision Name: Princeton      Current Zoning: R1  
Are there any existing structures on the property?: ☐ No ☒ Yes, please describe:  
House

Land Purchased from      Year Purchased

| Location of Development                                      | Property Size       |              |
|--|---------------------|--------------|
| <input type="checkbox"/> North <input type="checkbox"/> East | Road Frontage 98'   | Acreage 0.39 |
| <input type="checkbox"/> South <input type="checkbox"/> West | Property Depth 186' | Area sq. ft. |

2. Contact Information

APPLICANT Name: Monica Jollimore      Address: [Redacted]  
Phone:      Cell: [Redacted]  
Email:      Postal Code:       
  
Same as Above: ☒  
Name:      Address:       
OWNER Phone:      Cell:       
Email:      Postal Code:       
  
CONTRACTOR, ARCHITECT OR ENGINEER Name: Building Blocs      Address:       
Phone:      Cell: [Redacted]  
Email:      Postal Code:     

3. Infrastructure Components

Water Supply ☒ Municipal    ☐ Private      Sewage System ☒ Municipal    ☐ Private  
Entrance Way Permit (Department of Transportation and Infrastructure Renewal)    ☐ Attached

4. Development Description

☐ New Building    ☒ Renovate Existing    ☐ Addition    ☐ Demolition    ☐ Other Wheelchair ramp

|  |  |   |                                |
|--|--|---|--------------------------------|
| <input checked="" type="checkbox"/> Single Family (R1) | <input type="checkbox"/> Commercial (C1) | <input type="checkbox"/> Public Serv./Institution (PSI) | <input type="checkbox"/> Other |
| <input type="checkbox"/> Semi-Detached (R2)            | <input type="checkbox"/> Industrial (M1) | <input type="checkbox"/> Accessory Building             |                                |
| <input type="checkbox"/> Multi-Unit Res. (R3)          | <input type="checkbox"/> Mini Home (RM1) | <input type="checkbox"/> Decks/Fence/Pools              |                                |

| Type of Foundation                                  | External Wall Finish                             | Roof Material                               | Chimney                         |
|---|--|---|---------------------------------|
| <input checked="" type="checkbox"/> Poured Concrete | <input checked="" type="checkbox"/> Vinyl Siding | <input checked="" type="checkbox"/> Asphalt | <input type="checkbox"/> Brick  |
| <input type="checkbox"/> Slab                       | <input type="checkbox"/> Wood Shingles           | <input type="checkbox"/> Steel              | <input type="checkbox"/> Prefab |
| <input type="checkbox"/> Pier                       | <input type="checkbox"/> Steel                   | <input type="checkbox"/> Other              | <input type="checkbox"/> Other  |
| <input type="checkbox"/> Other                      | <input type="checkbox"/> Other                   |   |                                 |

| Number of Stories | Number of Bedrooms | Number of Bathrooms | Ground Floor (ft) |
|-------------------|--------------------|---------------------|-------------------|
| 1                 | 3                  | 1                   | Width      Length |



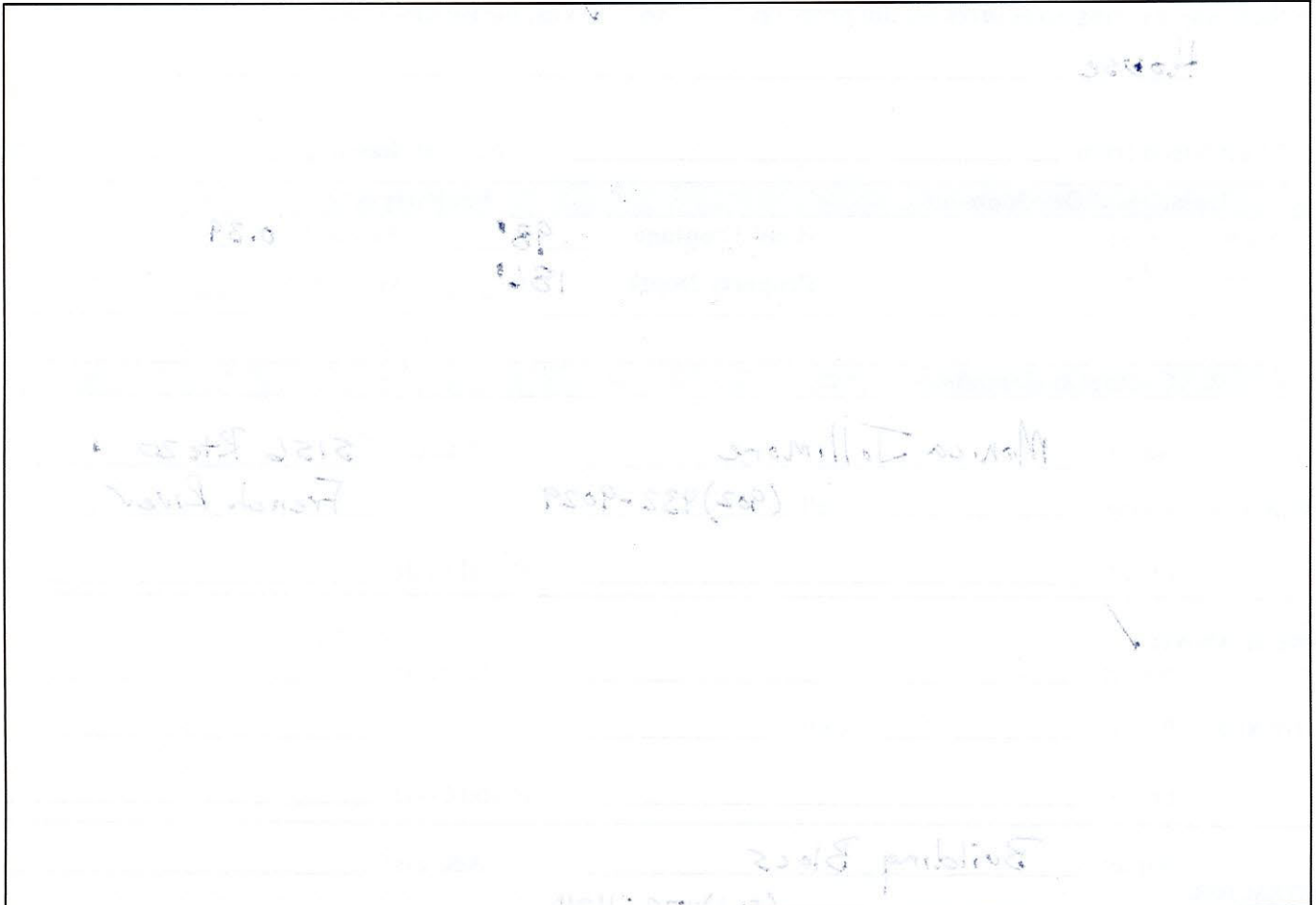
Detailed Project Description: Replace Front Deck w addition of  
wheelchair ramp

Estimated Value of Construction (not including land cost): \$6,000

Projected Start Date: May 29 / 2025 Projected Date of Completion: June 30, 2025

**Please provide a diagram of proposed construction:**

- a) Draw boundaries of your lot.
- b) Show existing and proposed buildings.
- c) Indicate the distance between buildings.
- d) Show location of driveway.
- e) Indicate distance to property lines.



**I DO SOLEMNLY DECLARE & CERTIFY:**

1. That I am the Authorized Agent of the Owner/the Owner named in the Application for a permit hereto attached.
2. That the information contained herein, the attached plans, and other included documents are true and complete and the development will be constructed or carried out in accordance with the plans and specifications as submitted.
3. Providing that the Town of Kensington and/or its agents or employees are acting in good faith in the administration of the Town Bylaws, I waive all rights of actions against Town of Kensington and/or its agents or employees in respect of any damages which may be caused through the operation of any provision(s) of its Bylaw or the revoking of a permit for any cause or irregularity or nonconformity with the Bylaw or regulations adopted by the Town of Kensington.
4. I assume responsibility for damage to any Town property including: sidewalks, curbs, streets or other infrastructure and I irrevocably agree to bear the cost of remediation repair or replacement of any Town damaged by myself or by any contractors, agents or employees working on the property which is the subject of this application to the complete satisfaction of the Town of Kensington.
5. Where services are available, properties must be serviced by municipal water and sewer in accordance with the Town of Kensington Water and Pollution Control Corporations minimum standards. I am responsible for costs associated with the connection as outlined in the IRAC (Island Regulatory and Appeals Commission) Regulations. Any connection to water or sewer must be inspected by the Town of Kensington Public Works Department and 24 hrs notice must be given and inspections must be made between the hours of 8 am and 5 pm, Monday to Friday.
6. That I know of no reason why the permit should not be granted in pursuance of the Application, and I make this declaration conscientiously believing it to be true.
7. I agree to comply with all laws of Canada, Province of Prince Edward Island, and Bylaws of the Town of Kensington pertaining to the construction/and use of the development applied for herein.
8. I understand that all Development Permits are valid for 12 months and subject to a 21-day appeal period following approval as stated under the PEI Planning Act.

Further, I realize that the payment of monies for this application does not constitute approval of a permit nor approval to commence any part of the work applied for.

Signature of Applicant

te: May 29, 2025





Mailing Address:  
55 Victoria Street E  
PO Box 418  
Kensington, PE  
C0B 1M0  
  
Tel: 902-836-3781  
Fax: 902-836-3741  
Email: CAO@kensington.ca  
Website: www.kensington.ca

| For Office Use Only |                               |
|---------------------|-------------------------------|
| Permit #:           |                               |
| Date Received:      |                               |
| Date Approved:      |                               |
| PEI Planning:       |                               |
| Permit Fee: \$      | <input type="checkbox"/> Paid |

DEVELOPMENT PERMIT APPLICATION

1. Property Information

Project Address: 14 School St Property Tax Number (PID): 80010-000  
Lot No.: \_\_\_\_\_ Subdivision Name \_\_\_\_\_ Current Zoning: Residential  
Are there any existing structures on the property?: ☐ No ☐ Yes, please describe:

Land Purchased from Peter Gallant Year Purchased 2001

| Location of Development                                      | Property Size        |                    |
|--|----------------------|--------------------|
| <input type="checkbox"/> North <input type="checkbox"/> East | Road Frontage _____  | Acreage _____      |
| <input type="checkbox"/> South <input type="checkbox"/> West | Property Depth _____ | Area sq. ft. _____ |

2. Contact Information

|  |              |                    |              |                |
|--|--------------|--------------------|--------------|----------------|
| APPLICANT  | Name:        | <u>Carl Dawson</u> | Address:     |                |
|  | Phone:       |                    | Cell:        |                |
|  | Email:       |                    | Postal Code: | <u>C0B-1M0</u> |
| Same as Above: <input checked="" type="checkbox"/> | Name:        |                    | Address:     |                |
|  | OWNER Phone: |                    | Cell:        |                |
|  | Email:       |                    | Postal Code: |                |
| CONTRACTOR,<br>ARCHITECT<br>OR ENGINEER            | Name:        |                    | Address:     |                |
|  | Phone:       |                    | Cell:        |                |
|  | Email:       |                    | Postal Code: |                |

3. Infrastructure Components

Water Supply ☐ Municipal ☐ Private Sewage System ☐ Municipal ☐ Private  
Entrance Way Permit (Department of Transportation and Infrastructure Renewal) ☐ Attached

4. Development Description

☒ New Building ☐ Renovate Existing ☐ Addition ☐ Demolition ☐ Other \_\_\_\_\_

|   |  |   |                                |
|---|--|---|--------------------------------|
| <input type="checkbox"/> Single Family (R1)   | <input type="checkbox"/> Commercial (C1) | <input type="checkbox"/> Public Serv./Institution (PSI) | <input type="checkbox"/> Other |
| <input type="checkbox"/> Semi-Detached (R2)   | <input type="checkbox"/> Industrial (M1) | <input checked="" type="checkbox"/> Accessory Building  |                                |
| <input type="checkbox"/> Multi-Unit Res. (R3) | <input type="checkbox"/> Mini Home (RM1) | <input type="checkbox"/> Decks/Fence/Pools              |                                |

| Type of Foundation                       | External Wall Finish                             | Roof Material                             | Chimney                         |
|--|--|---|---------------------------------|
| <input type="checkbox"/> Poured Concrete | <input checked="" type="checkbox"/> Vinyl Siding | <input type="checkbox"/> Asphalt          | <input type="checkbox"/> Brick  |
| <input checked="" type="checkbox"/> Slab | <input type="checkbox"/> Wood Shingles           | <input checked="" type="checkbox"/> Steel | <input type="checkbox"/> Prefab |
| <input type="checkbox"/> Pier            | <input type="checkbox"/> Steel                   | <input type="checkbox"/> Other            | <input type="checkbox"/> Other  |
| <input type="checkbox"/> Other           | <input type="checkbox"/> Other                   |   |                                 |

| Number of Stories | Number of Bedrooms | Number of Bathrooms | Ground Floor (ft)                |
|-------------------|--------------------|---------------------|----------------------------------|
| <u>1</u>          | <u>0</u>           | <u>0</u>            | Width <u>20</u> Length <u>24</u> |



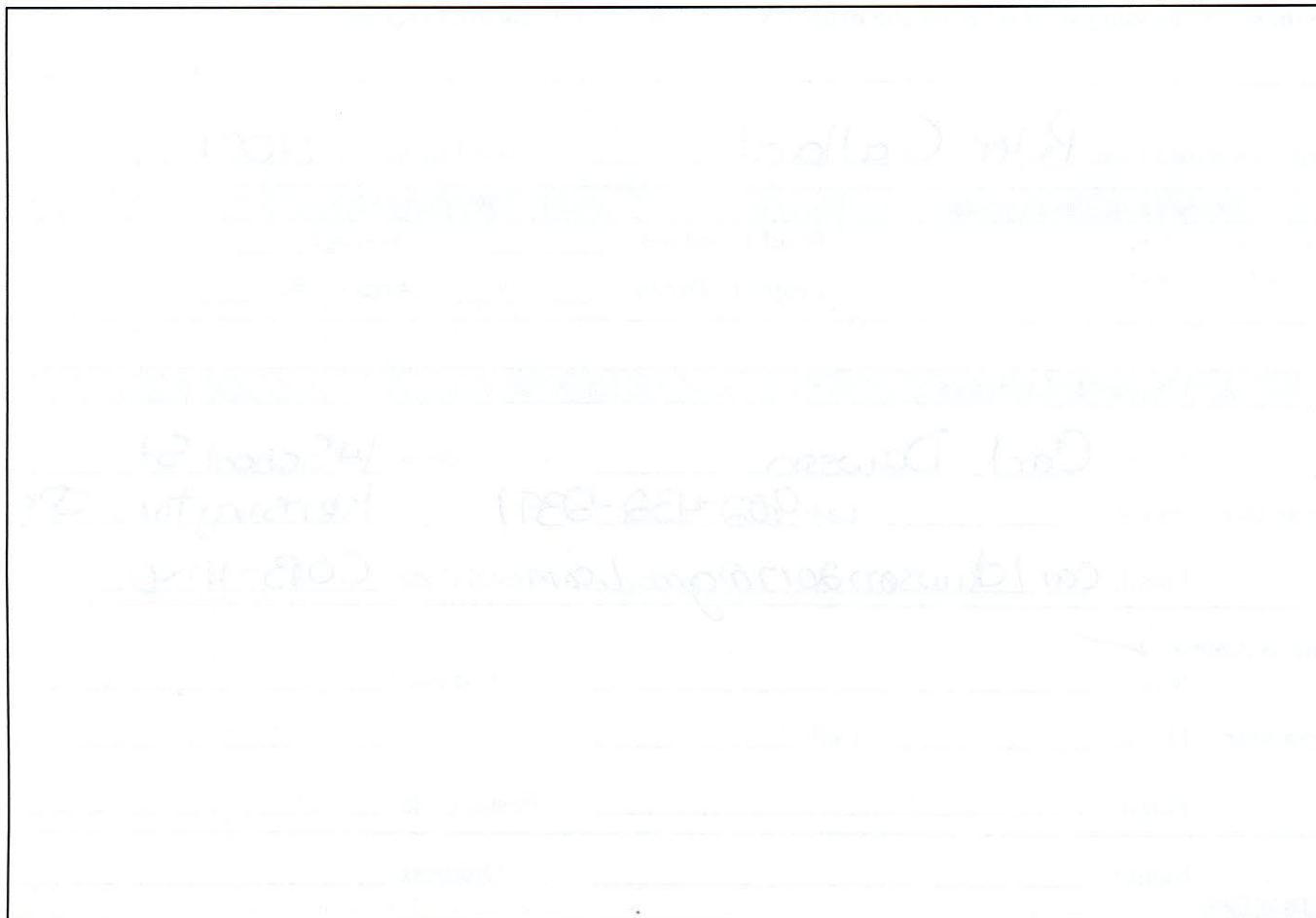
Detailed Project Description: Single car detached garage on  
concrete slab floor.

Estimated Value of Construction (not including land cost): \$15,000.00

Projected Start Date: MAY 1 / 25 Projected Date of Completion: June 30 / 25

**Please provide a diagram of proposed construction:**

- a) Draw boundaries of your lot.
- b) Show existing and proposed buildings.
- c) Indicate the distance between buildings.
- d) Show location of driveway.
- e) Indicate distance to property lines.



**I DO SOLEMNLY DECLARE & CERTIFY:**

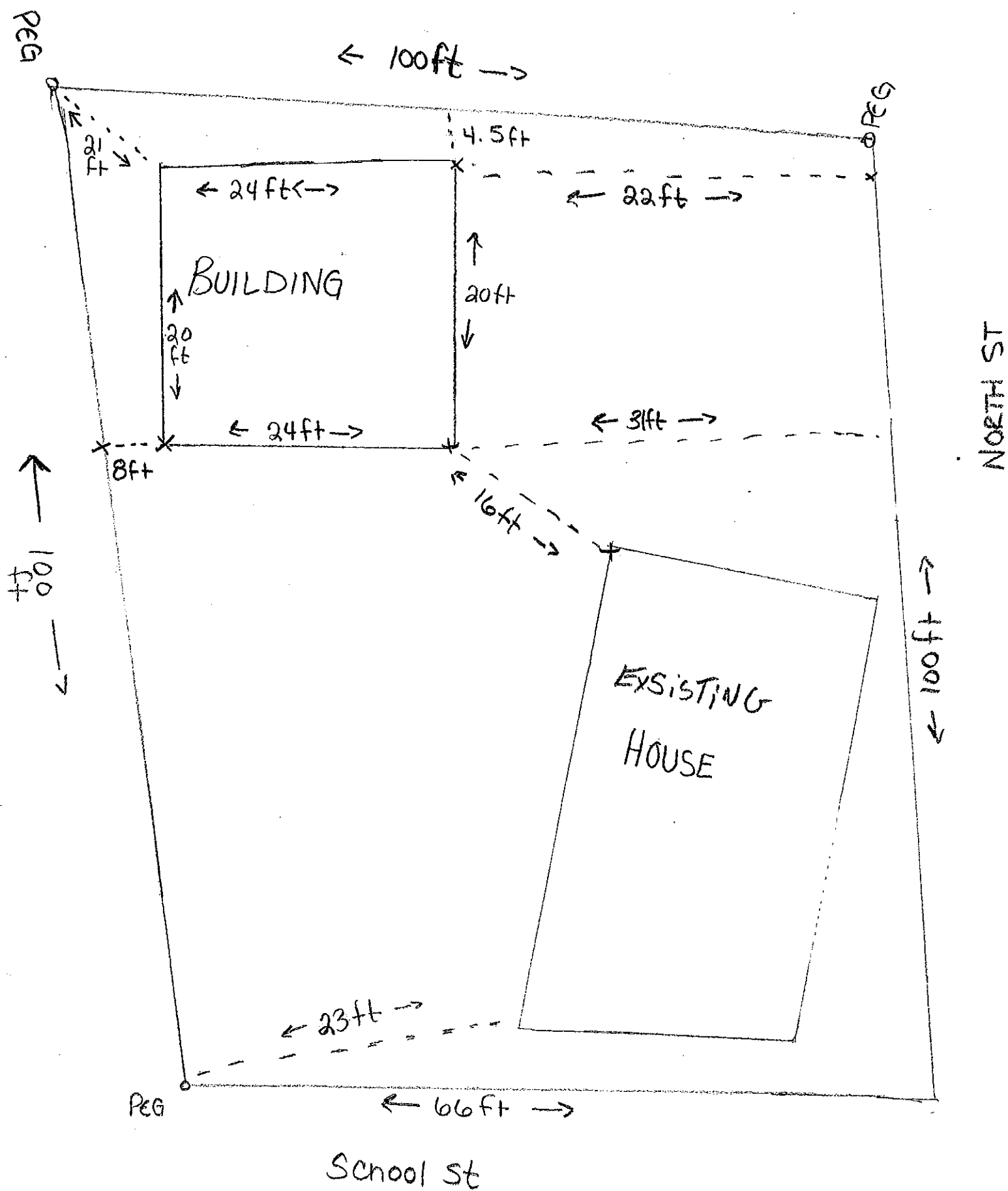
1. That I am the Authorized Agent of the Owner/the Owner named in the Application for a permit hereto attached.
2. That the information contained herein, the attached plans, and other included documents are true and complete and the development will be constructed or carried out in accordance with the plans and specifications as submitted.
3. Providing that the Town of Kensington and/or its agents or employees are acting in good faith in the administration of the Town Bylaws, I waive all rights of actions against Town of Kensington and/or its agents or employees in respect of any damages which may be caused through the operation of any provision(s) of its Bylaw or the revoking of a permit for any cause or irregularity or nonconformity with the Bylaw or regulations adopted by the Town of Kensington.
4. I assume responsibility for damage to any Town property including: sidewalks, curbs, streets or other infrastructure and I irrevocably agree to bear the cost of remediation repair or replacement of any Town damaged by myself or by any contractors, agents or employees working on the property which is the subject of this application to the complete satisfaction of the Town of Kensington.
5. Where services are available, properties must be serviced by municipal water and sewer in accordance with the Town of Kensington Water and Pollution Control Corporations minimum standards. I am responsible for costs associated with the connection as outlined in the IRAC (Island Regulatory and Appeals Commission) Regulations. Any connection to water or sewer must be inspected by the Town of Kensington Public Works Department and 24 hrs notice must be given and inspections must be made between the hours of 8 am and 5 pm, Monday to Friday.
6. That I know of no reason why the permit should not be granted in pursuance of the Application, and I make this declaration conscientiously believing it to be true.
7. I agree to comply with all laws of Canada, Province of Prince Edward Island, and Bylaws of the Town of Kensington pertaining to the construction/and use of the development applied for herein.
8. I understand that all Development Permits are valid for 12 months and subject to a 21-day appeal period following approval as stated under the PEI Planning Act.

Further, I realize that the payment of monies for this application does not constitute approval of a permit nor approval to commence any part of the work applied for.

Signature of Applicant

Date:

Apr 21 / 25



Year To Date Approved Development Permits Summary Report  
2025

| Development Permit Category            | January | February | March | April | May | June | July | August | September | October | November | December |  | Total |  |
|--|---------|----------|-------|-------|-----|------|------|--------|-----------|---------|----------|----------|--|-------|--|
| New Commercial                         | 1       |          |       |       |     |      |      |        |           |         |          |          |  | 1     |  |
| New Industrial                         |         |          |       | 1     |     |      |      |        |           |         |          |          |  | 1     |  |
| New Residential Accessory Structure    | 1       |          |       |       | 1   |      |      |        |           |         |          |          |  | 2     |  |
| New Single Family Dwelling             |         |          | 1     |       |     |      |      |        |           |         |          |          |  | 1     |  |
| Renovation Residential Deck/Fence/Pool |         |          |       |       | 1   |      |      |        |           |         |          |          |  | 1     |  |
| Total:                                 |         |          |       |       | 1   |      |      |        |           |         |          |          |  | 6     |  |

| Total Estimated Construction Value |
|------------------------------------|
| \$300,000.00                       |
| \$500,000.00                       |
| \$23,000.00                        |
| \$225,000.00                       |
| \$6,000.00                         |
| \$1,054,000.00                     |

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**TOWN OF KENSINGTON – MEMORANDUM**

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**TO: MAYOR AND TOWN COUNCIL, CAO**

**FROM: GRAEME YOUNG, ACTING CUC MANAGER**

**DATE: MAY 2025**

**SUBJECT: MAY 2025- CREDIT UNION CENTRE REPORT**

**ATTACHMENT: STATISTICAL REPORT**

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**May 2025**

**Fitplex**

- Hours of operation are 5:00 am – 11:00 pm daily.
- Staffed Hours are Monday to Thursday 4:00 pm-8:00 pm Friday 9:00am-1:00pm

**Arena**

- Hosted High School Ball Hockey League for PEISAA
- Hosted Sextortion presentation with KPS and guest speaker Carl Burke

- **53 hours booked May 2025**

PEISAA                16.50 Hours

Other                 2.00 Hours

**Arena Maintenance**

- Black and MacDonald is schedule for early July to repair 4 valves in the ice plant and there also is a brine leak that needs to be located and repaired.
- Zamboni hydraulic hose is being ordered and repairs scheduled to be done by Bells

## **Solar Panels**

### **Jan 2025**

**1680 kw produced**

**\$218.40 Dollar Value**

### **Feb 2025**

**5502 kw produced**

**\$715.26 Dollar Value**

### **March 2025**

**6031kwh**

**784.00 Dollar Value**

### **April 2025**

**5445kwh**

**707.88 Dollar Value**

### **May 2025**

**6020kwh**

**782.60 Dollar Value**

## **Kensington Cash Draw**

- **May 1            120.00**
- **May 8            150.00**
- **May 15          120.00**
- **May 22          120.00**
- **May 29          140.00**

## **Ball Fields**

- Ballfield bathroom is open for use
- Protective netting was put up by Branch Manager
- Minor baseball and Rec ball started the 3<sup>rd</sup> week of May



- Field rolling and maintenance was completed in mid May

### **Senior Center**

- Ramp boards were secured after winter damage

### **Tennis \ Pickleball Courts KISH**

- Wind screens will be put up week of June 9th

### **CUC Property**

- Ball Hockey and Skate Park open, trail by senior center, open and available to use. Trail maintenance is ongoing. Fishing Derby was held on May 31 with a large attendance drawing people from across PEI. Thank you KPS, Public Works, Mayor & Councillor's for your assistance with this event.

### **Upcoming Events**

- June 4 Washer Toss League starts at Alysha Toombs Memorial Pond
- June 21 Bike Rodeo
- July 1 Canada Day
- Aug 16-20 Harvest Festival

# Town of Kensington Credit Union Centre Monthly Statistical Data

**2025**

| Category                    | January | February | March | April | May  | June | July | August | September | October | November | December | YTD   |
|-----------------------------|---------|----------|-------|-------|------|------|------|--------|-----------|---------|----------|----------|-------|
| Fitplex                     |         |          |       |       |      |      |      |        |           |         |          |          |       |
| Total Members               | 252     | 260      | 267   | 271   | 279  |      |      |        |           |         |          |          | 1329  |
| Attendance                  | 1457    | 1520     | 1700  | 1625  | 1673 |      |      |        |           |         |          |          | 7975  |
| Day Passes Sold             | 11      | 12       | 14    | 12    | 13   |      |      |        |           |         |          |          | 62    |
| Memberships Sold            | 36      | 38       | 35    | 30    | 29   |      |      |        |           |         |          |          | 168   |
| Monthly Payment Memberships | 92      | 92       | 90    | 88    | 91   |      |      |        |           |         |          |          | 453   |
| Arena                       |         |          |       |       |      |      |      |        |           |         |          |          |       |
| Hours Rented                | 185     | 175      | 163   | 53    | 16.5 |      |      |        |           |         |          |          | 592.5 |
| Preschool (Free)            | 4       | 4        | 3     | 0     | 0    |      |      |        |           |         |          |          | 11    |
| Adult Skate                 | 4       | 4        | 3     | 0     | 0    |      |      |        |           |         |          |          | 11    |
| Donated Ice Time            | 0       | 0        | 0     | 0     | 0    |      |      |        |           |         |          |          | 0     |
| Total Hours Rented          | 193     | 183      | 169   | 53    | 16.5 |      |      |        |           |         |          |          | 614.5 |
| Storm Days                  | 2       | 2        | 2     | 0     | 0    |      |      |        |           |         |          |          | 6     |

**2024**

[illegible]



## **Mayor's Report to Town Council**

**June 5, 2025**

**The Mayor's Report** to Town Council is an opportunity for the Mayor to provide feedback to Council, Staff, Residents, and other interested Stakeholders about activities of the Mayor on their behalf since the last Council meeting. It will include, as much as possible, a summary of information from meetings and discussions on behalf of the Town of Kensington. Any decisions to be made on behalf of the Town will be brought forward to the Council for decisions.

The Mayor is the designated spokesperson for the town and communicates decisions made by the Town Council. The Mayor chairs the monthly Town Council Meetings and the monthly Committee of Council meetings. All efforts are made to keep discussions and decisions transparent as we represent the town on behalf of the residents. Agendas (along with supporting information) for Committee of Council meetings and Town Council meetings are posted on the town website on the Friday afternoon prior to the meeting. ([www.kensington.ca](http://www.kensington.ca))

Committee of Council meetings are held on the 4<sup>th</sup> Monday of each month (except July and August and December) at 6:30 pm and Town Council meetings are held on the 2<sup>nd</sup> Monday of each month at 7:00 pm. The agendas (along with supporting information) are emailed to the County Line Courier, Journal Pioneer, CTV, and CBC on Friday afternoon prior to the meetings.

**Queen Elizabeth Elementary School Student Vote** – Councillor MacRae and I were happy to be asked to assist as the students learned about the Canadian electoral process. It was interesting to hear the questions and see the engagement of the students.

**P.E.I. Easter Seals School Tour** – I was pleased to be invited to attend the assembly at the school along with Councillor MacRae. It was a very high energy event and was great to see the excitement. We also took the cheque Council had approved and presented it that day.

**Kensington and Area Chamber of Commerce** – I was not able to attend the Chamber Golf Tournament but understand the team of four we entered had a great day. Thank you to the Chamber of Commerce Board of Directors and Executive Director for working hard to create opportunities for networking within our community.

**IWK Health Centre Telethon** – Police Chief Yuill and I represented the Town at the cheque presentation for this worthwhile cause. The organizers were very appreciative of our support.

**Summerside Police Chief Retirement** – Police Chief Yuill and I also attended the retirement celebration for Police Chief Sinclair Walker at City Hall in Summerside. Chief Walker was very appreciative of our presence and spoke highly of our Police Department and the cooperation between our two departments. Congratulation to the new Police Chief – Jason Blaquiere.

**Emergency Preparedness Meeting** – Our EMO Co-Ordinator and I attended a presentation hosted by the P.E.I. Office of Public Safety on the FireSmart Program and on Emergency Preparedness. It was a very worthwhile presentation but unfortunately did not have a great attendance.

**VE Day** – Police Chief Yuill, Constable Steenson and I all attended the Legion's Victory in Europe commemoration this past month. This year marked the 80<sup>th</sup> anniversary of the end of World War II in Europe.



**Family Violence Prevention Walk of Silence** – We had a wonderful turnout for the annual Walk of Silence in support of Family Violence Prevention. We were pleased to welcome Jane Ledwell and Caroline Galloway from the PEI Status of Women for this occasion. Thank you to all the staff and local businesses who assisted in making it a great day.

**Art Co-op Murals** – Thank you to the Kensington art Co-op for the donation of three beautiful new murals that have been placed on the Masonic Hall and to Karen Fullerton from the Art Co-op for organizing the installation. They are a wonderful addition to the core area.

**Queen Elizabeth Hospital Big Day of Giving** – Thank you Councillor MacRae for attending the cheque presentation in Charlottetown to support one of our Island's Hospitals

**Prince County Hospital** – Thank you to staff member Adrian Wedge for attending the Donor Recognition hosted by the Prince County Hospital Foundation.

**Kensington Police Fishing Derby** – Thank you to Police Chief Yuill and your staff for all the work you put in to make the Fishing Derby a great success. The weather cooperated and the turnout was fantastic. Thank you to the Councillors who attended and assisted as well.

**Town Clean-up** – I would like to thank the Councillors and their families who came out to help with the Town Cleanup. I was impressed by how clean most areas were before we did the cleaning. We did manage to gather at least a dozen bags around town so I'm sure our small group made a difference.

**Town By-Election** – I would like to Congratulate Shawn McCarvill on winning the recent by-election. Thank you to Rowan Caseley for putting his name forward and to Paull Chessman for taking on the Municipal Election Officer duties. Thank you to other staff members who took on extra duties to ensure everything went smoothly.

**Interim CAO** – I would like to express my gratitude to Wes Sheridan for all his work over the past few months. I hope you can now begin your well-deserved retirement!

I would like to thank all Town staff for their incredible dedication they continue to display in their day-to-day duties. We are lucky to have many wonderful employees in the organization.

Jeff Spencer, Acting Mayor  
Town of Kensington

## Town of Kensington - Request for Decision

|   |   |
|---|---|
| <b>Date:</b> June 9, 2025   | <b>Request for Decision No:</b> 2025-23<br><b>(Office Use Only)</b> |
| <b>Topic: Development Permit Application – Mobile Classroom at Queen Elizabeth Elementary School</b>  |   |
| <b>Proposal Summary/Background:</b><br><p>The Town has received a Development Permit Application from the PEI Department of Transportation and Infrastructure for the installation of a stand-alone mobile classroom at the Queen Elizabeth Elementary School property. The mobile classroom is proposed to be situated on the existing school grounds and will serve as an accessory structure to support increased educational space needs.</p>   |   |
| <b>Benefits:</b> <ul style="list-style-type: none"><li>• Supports Education Capacity: The addition of a mobile classroom provides immediate relief to capacity constraints at Queen Elizabeth Elementary School.</li><li>• Minimally Invasive: Mobile classrooms are designed for quick deployment with limited site disruption.</li><li>• Compliance with Bylaws: The proposed structure meets all applicable requirements under the Town’s Development Control Bylaw, including those governing accessory structures.</li></ul>   |   |
| <b>Disadvantages:</b> <ul style="list-style-type: none"><li>• None Noted.</li></ul>   |   |
| <b>Discussion/Comments:</b><br><p>Town staff have reviewed the Development Permit Application and confirm that the proposed mobile classroom qualifies as an accessory structure as per the definition (Section 7(2)) under the Town’s Development Control Bylaw. The structure is subordinate and incidental to the primary educational use of the property and meets the applicable setback, height, and lot coverage requirements (Section 3.2).</p> <p>Given the pressing need for additional classroom space at Queen Elizabeth Elementary and the conformity of the proposal with municipal regulations, there are no technical or planning objections to approval.</p> |   |

**Options:**

1. Approve the development permit application, as recommended.
2. Not approve the development permit application.
3. Refer the matter back to staff.

**Costs/Required Resources:**

N/A

**Source of Funding:**

N/A

**Recommendation:**

It is recommended that Town Council consider and adopt the following resolution:

It is recommended that Town Council approve the Development Permit Application for the installation of a stand-alone mobile classroom at Queen Elizabeth Elementary School, as submitted by the PEI Department of Transportation and Infrastructure, based on the structure's compliance with the Town of Kensington's Development Control Bylaw.

***Proposed Resolution:***

***BE IT RESOLVED THAT Kensington Town Council approve the Development Permit Application submitted by the PEI Department of Transportation and Infrastructure for the placement of a stand-alone mobile classroom at the Queen Elizabeth Elementary School property, subject to compliance with all applicable municipal bylaws and provincial regulations.***



Mailing Address:  
55 Victoria Street E  
PO Box 418  
Kensington, PE  
C0B 1M0  
Tel: 902-836-3781  
Fax: 902-836-3741  
Email: [CAO@kensington.ca](mailto:CAO@kensington.ca)  
Website: [www.kensington.ca](http://www.kensington.ca)

| For Office Use Only |                               |
|---------------------|-------------------------------|
| Permit #:           |                               |
| Date Received:      |                               |
| Date Approved:      |                               |
| PEI Planning:       |                               |
| Permit Fee: \$      | <input type="checkbox"/> Paid |

## DEVELOPMENT PERMIT APPLICATION

### 1. Property Information

Project Address: 2 Saunders Lane, Kensington, PE C0B 1M0 Property Tax Number (PID): 498220  
Lot No.: \_\_\_\_\_ Subdivision Name: \_\_\_\_\_ Current Zoning: \_\_\_\_\_  
Are there any existing structures on the property?: ☐ No ☒ Yes, please describe:  
Queen Elizabeth Elementary School main building

Land Purchased from: \_\_\_\_\_ Year Purchased: \_\_\_\_\_

| Location of Development                                      | Property Size                             |
|--|---|
| <input type="checkbox"/> North <input type="checkbox"/> East | Road Frontage: _____ Acreage: _____       |
| <input type="checkbox"/> South <input type="checkbox"/> West | Property Depth: _____ Area sq. ft.: _____ |

### 2. Contact Information

APPLICANT Name: PEI Dept. DTI (Arber Capo) Address: 11 Kent Street, PO BOX 2000  
Phone: \_\_\_\_\_ Cell: 902-218-1674 Charlottetown, PE  
Email: acapo@gov.pe.ca Postal Code: C1A 7N8

Same as Above: ☒  
Name: \_\_\_\_\_ Address: \_\_\_\_\_  
OWNER Phone: \_\_\_\_\_ Cell: \_\_\_\_\_  
Email: \_\_\_\_\_ Postal Code: \_\_\_\_\_

CONTRACTOR, ARCHITECT OR ENGINEER Name: Darrin Dunsford, Coles Associates Ltd. Address: 85 Fitzroy Street, Suite 201  
Phone: 902-368-2300 Cell: \_\_\_\_\_ Charlottetown, PE  
Email: ddunsford@colesassociates.com Postal Code: C1A 1R6

### 3. Infrastructure Components

Water Supply ☒ Municipal ☐ Private Sewage System ☒ Municipal ☐ Private

Entrance Way Permit (Department of Transportation and Infrastructure Renewal) ☐ Attached

### 4. Development Description

☒ New Building ☐ Renovate Existing ☐ Addition ☐ Demolition ☐ Other \_\_\_\_\_

|   |  |  |                                |
|---|--|--|--------------------------------|
| <input type="checkbox"/> Single Family (R1)   | <input type="checkbox"/> Commercial (C1) | <input checked="" type="checkbox"/> Public Serv./Institution (PSI) | <input type="checkbox"/> Other |
| <input type="checkbox"/> Semi-Detached (R2)   | <input type="checkbox"/> Industrial (M1) | <input type="checkbox"/> Accessory Building                        |                                |
| <input type="checkbox"/> Multi-Unit Res. (R3) | <input type="checkbox"/> Mini Home (RM1) | <input type="checkbox"/> Decks/Fence/Pools                         |                                |

| Type of Foundation                        | External Wall Finish                      | Roof Material                             | Chimney                                   |
|---|---|---|---|
| <input type="checkbox"/> Poured Concrete  | <input type="checkbox"/> Vinyl Siding     | <input type="checkbox"/> Asphalt          | <input type="checkbox"/> Brick            |
| <input type="checkbox"/> Slab             | <input type="checkbox"/> Wood Shingles    | <input checked="" type="checkbox"/> Steel | <input type="checkbox"/> Prefab           |
| <input type="checkbox"/> Pier             | <input checked="" type="checkbox"/> Steel | <input type="checkbox"/> Other            | <input checked="" type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Other | <input type="checkbox"/> Other            |   |   |

| Number of Stories | Number of Bedrooms | Number of Bathrooms | Ground Floor (ft)                      |
|-------------------|--------------------|---------------------|--|
| <u>1</u>          |                    |                     | Width <u>31.86</u> Length <u>26.86</u> |



**Detailed Project Description:** Stand Alone Mobile Classroom to be used by the Queen Elizabeth Elementary staff. Project details as per the attached Drawings

**Estimated Value of Construction (not including land cost):** 290,000.00

**Projected Start Date:** June 19, 2025 **Projected Date of Completion:** August 29, 2025

**Please provide a diagram of proposed construction:**

- |   |  |
|---|--|
| a) Draw boundaries of your lot.             | b) Show existing and proposed buildings. |
| c) Indicate the distance between buildings. | d) Show location of driveway.            |
| e) Indicate distance to property lines.     |  |

See attached Drawings

**I DO SOLEMNLY DECLARE & CERTIFY:**

1. That I am the Authorized Agent of the Owner/the Owner named in the Application for a permit hereto attached.
2. That the information contained herein, the attached plans, and other included documents are true and complete and the development will be constructed or carried out in accordance with the plans and specifications as submitted.
3. Providing that the Town of Kensington and/or its agents or employees are acting in good faith in the administration of the Town Bylaws, I waive all rights of actions against Town of Kensington and/or its agents or employees in respect of any damages which may be caused through the operation of any provision(s) of its Bylaw or the revoking of a permit for any cause or irregularity or nonconformity with the Bylaw or regulations adopted by the Town of Kensington.
4. I assume responsibility for damage to any Town property including: sidewalks, curbs, streets or other infrastructure and I irrevocably agree to bear the cost of remediation repair or replacement of any Town damaged by myself or by any contractors, agents or employees working on the property which is the subject of this application to the complete satisfaction of the Town of Kensington.
5. Where services are available, properties must be serviced by municipal water and sewer in accordance with the Town of Kensington Water and Pollution Control Corporations minimum standards. I am responsible for costs associated with the connection as outlined in the IRAC (Island Regulatory and Appeals Commission) Regulations. Any connection to water or sewer must be inspected by the Town of Kensington Public Works Department and 24 hrs notice must be given and inspections must be made between the hours of 8 am and 5 pm, Monday to Friday.
6. That I know of no reason why the permit should not be granted in pursuance of the Application, and I make this declaration conscientiously believing it to be true.
7. I agree to comply with all laws of Canada, Province of Prince Edward Island, and Bylaws of the Town of Kensington pertaining to the construction/and use of the development applied for herein.
8. I understand that all Development Permits are valid for 12 months and subject to a 21-day appeal period following approval as stated under the PEI Planning Act.

Further, I realize that the payment of monies for this application does not constitute approval of a permit nor approval to commence any part of the work applied for.

Signature of Applicant

*Abel Cops*

Date:

*May 22, 2025*



# QUEEN ELIZABETH ELEMENTARY SCHOOL STAND-ALONE MOBILE CLASSROOM

*PEI Department of Transportation &  
Infrastructure  
PEIG DTI #470-25016*

*2 Saunders Lane  
Kensington, PE*

**ARCHITECTURAL**

|      |  |
|------|--|
| A000 | PROJECT COVER SHEET  |
| A001 | PROJECT INFO, SCHEDULES & LEGENDS, OUTLINE SPECIFICATIONS, PARTIAL SITE PLAN |
| A100 | ARCHITECTURAL FLOOR PLAN AND EXTERIOR ELEVATIONS                             |
| A300 | BUILDING SECTIONS AND STRUCTURAL DETAILS                                     |
| A350 | WALL SECTIONS & DETAILS  |
| A400 | RAMP, STAIR & HANDRAIL DETAILS   |
| A500 | INTERIOR ELEVATIONS & MILLWORK DETAILS                                       |

**MECHANICAL**

|      |  |
|------|--|
| M001 | MECHANICAL SPECIFICATIONS                      |
| M100 | MOBILE CLASSROOM FLOOR PLAN - HVAC & SCHEDULES |

**ELECTRICAL**

|      |  |
|------|--|
| E001 | ELECTRICAL SPECIFICATIONS & LEGEND   |
| E100 | PARTIAL ELECTRICAL SITE PLAN, PARTIAL FLOOR PLANS & TRENCH DETAIL                  |
| E101 | MOBILE CLASSROOM FLOOR PLAN - POWER, COMMUNICATIONS, SYSTEMS, LIGHTING & SCHEDULES |

|  |  |  |  |  |                                    |     |                   |            |                  |              |
|--|--|--|--|--|------------------------------------|-----|-------------------|------------|------------------|--------------|
| <div><div>COLES</div><div>Architecture + Engineering + Project Management</div></div> <div>Suite 201, 85 Fitzroy Street<br/>Charlottetown, PEI, Canada, C1A 1R6<br/>Phone (902) 368-2300<br/>www.colesassociates.com</div> |  |  | Client<br>Prince Edward Island Department of<br>Transportation and Infrastructure<br>PEIG DTI #470-25016 | Project Title<br>Queen Elizabeth Elementary School<br>Stand-Alone Mobile Classroom | Sheet Title<br>Project Cover Sheet | No. | Description       | Date       | Date: 2025-05-22 | Revision     |
|  |  |  |  |  |                                    | 0   | Issued For Tender | 2025-05-22 | Drm By: AB       | <div>0</div> |
|  |  |  |  |  |                                    |     |                   |            | Chk By: DD       |              |
|  |  |  |  |  |                                    |     |                   |            | Project Number:  |              |
|  |  |  |  |  |                                    |     |                   |            | 251074           |              |
|  |  |  |  |  |                                    |     |                   |            | Drawing Number:  |              |
|  |  |  |  |  |                                    |     |                   |            | A000             |              |



GENERAL NOTES

1. VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
2. THE WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA (NBCC 2020) & CSA 2023 B651-23 UNLESS OTHERWISE NOTED ON THE DRAWINGS.
3. COMPLY WITH ALL LOCAL, MUNICIPAL AND PROVINCIAL BY-LAWS AND REGULATIONS.
4. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION.
5. BENCH MARKS TO BE ESTABLISHED BY CONTRACTOR.
6. ALL PENETRATIONS IN RATED PARTITIONS AND/OR FLOOR ASSEMBLIES FOR PLUMBING, DUCTING OR ELECTRICAL ARE TO BE SEALED. FIRE STOP IN ACCORDANCE WITH WALL AND/OR FLOOR TYPES. SUBMIT TJC DETAILS AND MATERIALS DURING SHOP DRAWING PROCESS FOR REVIEW PRIOR TO INSTALLATION.
7. ALL WOOD FRAMING TO BE CONSTRUCTED OF APPROVED MATERIALS AND Laterally Strapped and Supported as per NBCC 2020 STRUCTURAL REQUIREMENTS.
8. ALL WALL DIMENSIONS ARE TO FINISH FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
9. ALL OTHER DISCIPLINES SHOWN FOR GENERAL INTENT ONLY. REFER TO CORRESPONDING DRAWINGS.
10. REFER TO MATERIAL/FINISH SCHEDULE IN THE SPECIFICATION FOR INFORMATION ON MATERIAL TAGS.
11. STAIR CONSTRUCTION:  
- RUN (MIN. NOSING TO NOSING): 280mm  
- RISE: MAX. 180mm, MIN. 125mm  
- GUARDRAIL: IF STAIR LANDING IS MORE THAN 600mm ABOVE GRADE, A GUARDRAIL SHALL BE REQUIRED. GUARD TO BE MIN. 1070mm HIGH ABOVE NOSING OF STAIR TREAD AND LANDING. VERTICAL SPINDLES TO BE MAX. 100mm O.C.  
- HANDRAIL: 914mm HIGH ABOVE NOSING OF STAIR TREAD (BOTH SIDES). EXTEND HANDRAIL MIN. 300mm HORIZONTAL AT BOTTOM AND TOP OF STAIRS. HANDRAIL DIAMETER TO BE MAX. 38mm.  
- SURFACES: TREAD AND LANDING SURFACES SHALL BE SLIP-RESISTANT. LANDINGS SHALL HAVE A 50 ± 10mm SAFETY YELLOW ADHESIVE CONTRAST STRIP AT TOP OF STAIRS (2 LOCATIONS).
12. RAMP CONSTRUCTION:  
- SLOPE: MAX. 1:20, MIN. 1:12  
- HORIZONTAL DISTANCE BETWEEN LEVEL LANDINGS: MAX. 9000mm.  
- CLEAR WIDTH ON RAMP: MIN. 1200mm. INTERMEDIATE LANDING TO BE MIN. 1200mm x 1200mm. LANDING AT TOP AND BOTTOM OF RAMP TO BE MIN. 1700mm IN LENGTH.  
- GUARDRAIL: IF RAMP OR LANDING SURFACE IS MORE THAN 600mm ABOVE GRADE, A GUARDRAIL SHALL BE REQUIRED. GUARD TO BE MIN. 1070mm HIGH ABOVE RAMP OR LANDING SURFACE. VERTICAL SPINDLES TO BE MAX. 100mm O.C. LOWER EDGE OF GUARDRAIL TO BE MAX. 100mm FROM RAMP OR LANDING SURFACE.  
- HANDRAIL: MIN. 860mm, MAX. 920mm HIGH FROM RAMP SURFACE TO TOP OF RAIL (BOTH SIDES). EXTEND HANDRAIL 300mm HORIZONTAL AT BOTTOM AND TOP OF RAMP. HANDRAIL MAY PROJECT 100mm INTO RAMP CLEARANCE (BOTH SIDES). HANDRAIL DIAMETER TO BE MAX. 38mm.  
- SURFACES: RAMP AND LANDING SURFACES SHALL BE SLIP-RESISTANT. RAMP AND LANDINGS SHALL HAVE A 50 ± 10mm SAFETY YELLOW ADHESIVE CONTRAST STRIP AT EACH CHANGE IN SLOPE (4 LOCATIONS).



CONTEXT PLAN

PROJECT INFORMATION

ADDRESS: 2 SAUNDERS LANE, KENSINGTON PE  
MUNICIPALITY: TOWN OF KENSINGTON  
PID#-498220  
ZONING: PSI - PUBLIC SERVICE & INSTITUTIONAL  
GROSS AREAS:  
FIRST FLOOR: 79 m²

FLOOR PLAN LEGEND

|  |  |
|--|--|
|  | NEW WALLS<br>(REFER TO FLOOR PLAN FOR WALL TYPE) |
|  | ROOM NUMBER AND NAME                             |
|  | DOOR TAG   |
|  | WINDOW TAG                                       |
|  | WALL TAG   |

EXTERIOR WALL TYPES

| TAG | DESCRIPTION  |
|-----|--|
| EW1 | -38mm STEEL SIDING c/w GIRTS @ 400mm O.C.<br>-25mm AIR SPACE<br>-50mm RIGID INSULATION (R-12)<br>-AIR / MOISTURE BARRIER<br>-19mm PLYWOOD SHEATHING<br>-38x140mm WOOD STUDS @ 400mm O.C. c/w BATT INSULATION (R-20)<br>-6mil POLY VAPOUR BARRIER<br>-16mm GWB, 1 LAYER |

ROOF TYPES

| TAG | DESCRIPTION  |
|-----|--|
| R1  | -19mm SHEET METAL ROOFING<br>-HORIZ. 19mm x 89mm WOOD STRAPPING<br>-VERT. 19mm x 89mm WOOD STRAPPING<br>-WATERPROOF MEMBRANE<br>-19mm PLYWOOD SHEATHING<br>-ROOF TRUSSES (BY MANUFACTURER)<br>-FIBERGLASS BATT INSULATION (R-43)<br>-6mil POLY VAPOUR BARRIER<br>-19mm x 89mm WOOD STRAPPING<br>-16mm GWB, 1 LAYER<br>-T-BAR CEILING (REFER TO RCP FOR HEIGHT AND LOCATIONS) |

FLOOR TYPES

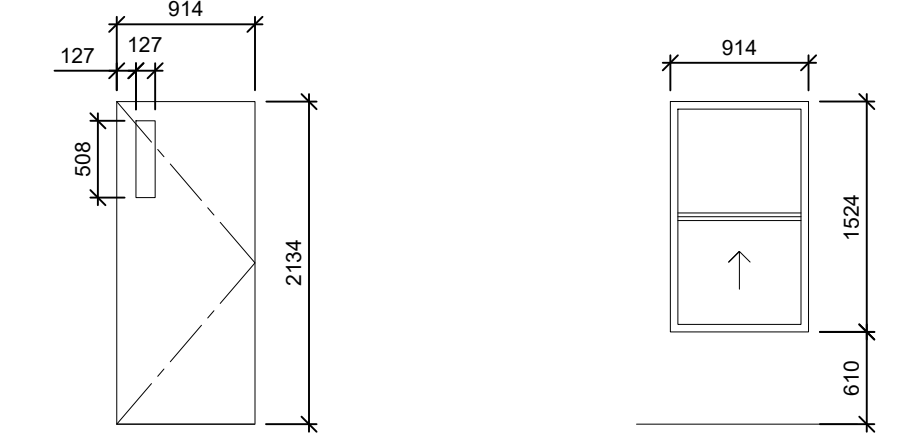
| TAG | DESCRIPTION  |
|-----|--|
| F1  | -LVP FLOORING c/w 100mm RUBBER COVE WALL BASE<br>-19mm PLYWOOD T&G<br>-38mm x 235mm WOOD FLOOR JOISTS @ 400mm O.C. c/w URETHANE SPRAY FOAM INSULATION (R-42) |

ROOM FINISH SCHEDULE

| ROOM NO. | ROOM NAME | FLOORS |      | WALLS        |             |              |             |
|----------|-----------|--------|------|--------------|-------------|--------------|-------------|
|          |           | FLOOR  | BASE | NORTH FINISH | EAST FINISH | SOUTH FINISH | WEST FINISH |
| 100      | CLASSROOM | LVP    | RB-1 | P-1          | P-1         | P-1          | P-1         |

MATERIAL/FINISH LEGEND

|       |   |
|-------|---|
| P-1   | LATEX PAINT, SEMI-GLOSS FINISH (PRIMER AND TWO FINISH COATS) COLOUR: BENJAMIN MOORE OC-24, 'CLOUD COVER'  |
| P-2   | EXTERIOR ACRYLIC LATEX PAINT, SEMI-GLOSS FINISH, 2 COATS (EXTERIOR ACRYLIC PRIMER/SEALER, 1 COAT). COLOUR: SHERWIN WILLIAMS SW 7018, 244-C5, 'DOVETAIL' |
| P-3   | ACRYLIC RESIN OR LATEX BASED EXTERIOR METAL PAINT, SATIN FINISH COLOUR: SHERWIN WILLIAMS SW 7018, 244-C5, 'DOVETAIL'                                    |
| RB-1  | RUBBER COVE WALL BASE, 100mm HIGH COLOUR: #461 'WICKER'   |
| LVP   | LUXURY VINYL PLANK FLOORING: FORBO ALLURA FLEX 1.0 COLOUR: 63533 'LIGHT TIMBER' WITH IR EMBOSSED AND 4-SIDE BEVEL                                       |
| COL-1 | SHEET METAL ROOFING COLOUR: 'PEWTER GREY'   |
| COL-2 | STEEL SIDING COLOUR: 'BONE WHITE'   |



"TYPE D-1"  
INSULATED CORE  
16 GA STEEL DOOR  
127 x 508 THERMAL VISION PANEL.  
PAINT ON PRIMER P-3  
18 GA THERMALLY-BROKEN STEEL FRAME, PAINTED P-3

DOOR TYPE  
SCALE NTS

"TYPE WN-1"  
KOHLECH SUPREME SINGLE HUNG  
<<OR>> MBF PRESTIGE SERIES  
VINYL WINDOW, TRIPLE GLAZED,  
c/w 22mm NARROW BRICK MOULD  
AND SILL BRICK MOULD

WINDOW TYPE  
SCALE NTS



1. ARCHITECTURAL

1.1. SECTION 08 10 00 - ROUGH CARPENTRY

- 1.1.1. LUMBER:  
1.1.1.1. UNLESS SPECIFIED OTHERWISE, SOFTWOOD, S4S, MOISTURE TREATED 19% (S-DRY) OR LESS IN ACCORDANCE WITH FOLLOWING STANDARDS:  
1.1.1.1.1. CAN/CSA-O141  
1.1.1.1.2. NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER  
1.1.1.2. GLUED END-JOINTED (FINGER JOINTED) LUMBER ARE NOT ACCEPTABLE.  
1.1.2. FRAMING AND BOARD LUMBER: IN ACCORDANCE WITH NBC.  
1.1.3. FURRING, BLOCKING, NAILING STRIPS, GROUNDS, ROUGH BUCKS, CANTS, CURBS, FASCIA BACKING AND SLEEPERS:  
1.1.3.1. S4S IS ACCEPTABLE.  
1.1.3.2. BOARD SIZES: "STANDARD" OR BETTER GRADE.  
1.1.3.3. DIMENSION SIZES: "STANDARD" LIGHT FRAMING OR BETTER GRADE.  
1.1.4. POST AND TIMBERS SIZES: "STANDARD" OR BETTER GRADE.  
1.1.5. DOUGLAS FIR PLYWOOD (DFF): TO CSA 0121, STANDARD CONSTRUCTION.  
1.1.6. PROVIDE ROUGH CARPENTRY, BLOCKING, CURBS AS REQUIRED.  
1.1.7. LUMBER SHALL COMPLY WITH THE OFFICIAL GRADING RULES OF NLGA FOR DIMENSION LUMBER. ALL LUMBER TO BE FSC CERTIFIED.  
1.1.8. PROVIDE FIRE TREATED PLYWOOD MOUNTING BOARDS FOR ELECTRICAL EQUIPMENT.  
1.1.9. WOOD IN CONTACT WITH MASONRY OR CONCRETE, OR AT EXTERIOR LOCATIONS SHALL BE PRESURE PRESERVATIVE TREATED.

1.2. SECTION 06 41 00 - ARCHITECTURAL WOOD CASEWORK

- 1.2.1. CASEWORK:  
1.2.1.1. FABRICATE CASEWORK TO AWMAC CUSTOM GRADE.  
1.2.1.2. FRAMING:  
1.2.1.2.1. CLEAR MAPLE HARDWOOD, 19mm THICK.  
1.2.1.3. FURRING, BLOCKING, NAILING STRIPS, GROUNDS AND ROUGH BUCKS AND SLEEPERS.  
1.2.1.3.1. HARDWOOD PLYWOOD, THICKNESS AS REQUIRED.  
1.2.1.4. CASE BODIES (ENDS, DIVISIONS, GABLES AND BOTTOMS, INCLUDING BASE, UPPERS AND WALL CABINETS):  
1.2.1.4.1. CLEAR MAPLE VENEER PLYWOOD, GOOD BOTH SIDES, 19mm THICK.  
1.2.1.4.2. EDGE BANDING: 6mm CLEAR MAPLE HARDWOOD, COLOR AND FINISH TO MATCH TOP SURFACE. STRIP SAME WIDTH AS MATERIAL.  
1.2.1.4.3. BACKS, CLEAR MAPLE VENEER PLYWOOD, 13mm THICK.  
1.2.1.5. SHELVING (ADJUSTABLE, FIXED TOP AND BOTTOM):  
1.2.1.5.1. CLEAR MAPLE VENEER PLYWOOD, GOOD BOTH SIDES, 19mm THICK.  
1.2.1.5.2. USE RECESSED STANDARDS TO SUPPORT SHELVES.  
1.2.1.5.3. EDGE BANDING (ALL EDGES): 6mm CLEAR MAPLE HARDWOOD, COLOR AND FINISH TO MATCH TOP SURFACE. SAME WIDTH AS MATERIAL.  
1.2.2. DOORS AND DRAWER FRONTS: FABRICATE DOORS TO AWMAC CUSTOM GRADE, FULL OVERLAYS, SUPPLEMENTED AS FOLLOWS:  
1.2.2.1. CLEAR MAPLE VENEER PLYWOOD, GOOD BOTH SIDES, 19mm THICK.  
1.2.2.2. EDGE BANDING (ALL EDGES): 6mm CLEAR MAPLE HARDWOOD, COLOR AND FINISH TO MATCH FACE

- 1.2.3. SURFACE: SAME WIDTH AS DOOR.  
1.2.3.1. LAMINATED PLASTIC COUNTER TOPS AND BACK SPLASHES:  
1.2.3.1.1. COUNTER TOPS AND BACKSPLASH: ONE PIECE POST FORMED, FACTORY LAMINATED, SELF-EDGED OR POST-FORMED AS NOTED ON DRAWINGS.  
1.2.3.2. TOP: 19mm DOUGLAS FIR PLYWOOD.  
1.2.3.3. LAMINATED PLASTIC: POST FORMING GRADE, 0.75 MM THICK.  
1.2.3.4. LAMINATED PLASTIC: STANDARD GRADE, 1.5mm THICK, TYPICAL COUNTER TOP.  
1.2.3.5. LAMINATED PLASTIC (NON-EXPOSED SURFACES): LINER SHEET, 0.75mm THICK.  
1.2.3.6. SPLASH BACK SIDE RETURNS TO BE INSTALLED ON SITE, BASED ON FIELD CONDITIONS.  
1.2.4. CABINET HARDWARE:  
1.2.4.1. HINGES: SOFT-CLOSING, 110 DEGREE HINGE WITH CLIP TOP.  
1.2.4.1.1. ACCEPTABLE PRODUCT: RICHELIEU BLUM BLUMOTION #718355180 OR APPROVED EQUAL.  
1.2.4.2. PULLS: 110mm STAINLESS STEEL "D" PULL.  
1.2.4.2.1. ACCEPTABLE PRODUCT: RICHELIEU #BP221170-170 OR APPROVED EQUAL.  
1.2.4.3. LEVELLERS AND SUPPORTS: 80mm CONCEALED BASE CABINET LEVELLER.  
1.2.4.3.1. ACCEPTABLE PRODUCT: RICHELIEU #2212G80 OR APPROVED EQUAL.  
1.2.4.4. SHELF PILASTER AND CLIP SUPPORTS: 15mm PILASTER, RECESSED WITH METAL SUPPORT CLIPS.  
1.2.4.4.1. ACCEPTABLE PRODUCT: RICHELIEU #225SG (LENGTH TO SUIT) OR APPROVED EQUAL.  
1.2.4.5. LOCKS: DEADBOLT DOOR CABINET LOCK WITH 22mm CYLINDER LENGTH.  
1.2.4.5.1. SCHEDULE: ALL CABINET DOORS  
1.2.4.5.2. ACCEPTABLE PRODUCT: RICHELIEU OLYMPUS #OL1078101260 OR APPROVED EQUAL.  
1.2.4.6. COAT HOOKS: 111mm HIGH x 73mm PROJECTING, MATTE BLACK, IRON, DOUBLE HOOK.  
1.2.4.6.1. ACCEPTABLE PRODUCT: RICHELIEU #RH3603301900 OR APPROVED EQUAL.

1.3. SECTION 07 21 13 - BOARD INSULATION

- 1.3.1. PROVIDE INSULATION AS INDICATED THROUGHOUT DRAWINGS.  
1.3.2. STANDARD OF ACCEPTANCE: IKO ENER-AIR POLYISOCYANURATE  
1.3.2.1. LOCATION: EXTERIOR WALLS  
1.3.2.2. THICKNESS & R-VALUE PER ASSEMBLIES (R6.3 PER INCH)  
1.3.2.3. COMPRESSIVE STRENGTH: 16 PSI MIN  
1.4. SECTION 07 21 16 - BLANKET INSULATION  
1.4.1. PROVIDE INSULATION AS INDICATED THROUGHOUT DRAWINGS, EXTERIOR WALLS, INTERIOR PARTITION CAVITIES AND ATTIC.  
1.4.2. STANDARD OF ACCEPTANCE:  
1.4.2.1. ELASTOCHEM INSULATION EXTREME ccSPF, DENSITY 2.2 LB/FT3  
1.4.2.2. THICKNESS & R-VALUE PER ASSEMBLIES (R3.4 PER INCH)

1.5. SECTION 07 21 19 - FOAMED-IN-PLACE INSULATION

- 1.5.1. PROVIDE INSULATION AS INDICATED THROUGHOUT DRAWINGS, UNDERSIDE OF FLOOR SYSTEM.  
1.5.2. STANDARD OF ACCEPTANCE:  
1.5.2.1. GENKY, BOREAL NATURE, TYPE 2  
1.5.2.2. ELASTOCHEM INSULATION EXTREME ccSPF, DENSITY 2.2 LB/FT3  
1.5.2.3. THICKNESS & R-VALUE PER ASSEMBLIES (MIN. R6 PER INCH)

1.6. SECTION 07 26 00 - VAPOUR RETARDERS

- 1.6.1. SHEET VAPOUR BARRIER  
1.6.1.1. POLYETHYLENE SHEET 6 MIL TO BE USED ON ALL WALLS AND CEILINGS AS APPLICABLE.  
1.6.2. LOCATE ON WARM SIDE OF INSULATION IN ALL CASES.  
1.7. SECTION 07 27 00 - AIR BARRIERS  
1.7.1. AIR BARRIER MEMBRANE (SELF-ADHERING), WALL SURFACES.  
1.7.1.1. SELF-ADHESIVE WITH PRIMER  
1.7.1.2. PRIMER: TYPE RECOMMENDED BY MANUFACTURER  
1.7.1.3. FOR INSTALLATION ON CONCRETE AND SHEATH.  
1.7.1.4. STANDARD OF ACCEPTANCE:  
1.7.1.1.1. HENRY, BLUESKIN VP160  
1.7.2. AIR BARRIER MEMBRANE (SELF-ADHERING), AROUND WINDOWS AND DOORS.  
1.7.2.1. SELF-ADHESIVE WITH PRIMER  
1.7.2.2. PRIMER: TYPE RECOMMENDED BY MANUFACTURER  
1.7.2.3. FOR INSTALLATION ON CONCRETE AND SHEATHING.  
1.7.2.4. STANDARD OF ACCEPTANCE:  
1.7.2.1.1. 3M, FLASHING TAPE 8067, 150mm WIDE

1.8. SECTION 07 46 19 - STEEL SIDING

- 1.8.1. STANDARD OF ACCEPTANCE:  
1.8.1.1. VICWEST AD SERIES, AD200: CONCEALED FASTENER, 38mm THICKNESS, 200mm FLUTE SPACING WITH 116mm REVEAL.  
1.8.2. PRE-FINISHED METAL, 20 GAUGE  
1.8.3. FINISH: VIOGEST, WEATHERXL™ WITH SILICONE MODIFIED POLYESTER PAINT SYSTEM  
1.8.4. COLOUR: REFER TO MATERIAL / FINISH SCHEDULE  
1.8.6. PROVIDE ALL NECESSARY GIRTS FOR ATTACHMENT TO BUILDING STRUCTURE, MASONRY/CONCRETE BACK-UP AND METAL STUD FRAMING.  
1.8.7. PROVIDE SHOP DRAWINGS FOR REVIEW.

1.9. SECTION 07 61 00 - SHEET METAL ROOFING

- 1.9.1. METAL ROOF PANELS (EXPOSED FASTENERS)  
1.9.1.1. GAUGE: MINIMUM 28 GAUGE  
1.9.1.2. FINISH: FACTORY FINISHED, VIOGEST, WEATHERXL™ WITH SILICONE MODIFIED POLYESTER PAINT SYSTEM  
1.9.1.3. FASTENERS: SCREWS WITH NEOPRENE WASHERS, FACTORY FINISHED SCREWS TO MATCH COLOUR OF ROOFING.  
1.9.1.4. SNOW GUARDS: 28 GAUGE METAL TO MATCH ROOFING COLOUR, SCREWED TO ROOF. REFER TO DRAWINGS FOR LOCATIONS AND PROFILE.  
1.9.1.5. COLOUR: REFER TO MATERIAL / FINISH SCHEDULE.  
1.9.1.6. STANDARD OF ACCEPTANCE:  
1.9.1.1.1. VICWEST, ULTRAVIC, 36" /814MM WIDE SHEET, 34" / 863MM HIGH FLUTES, 9" / 228MM FLUTE  
1.9.2. HIGH TEMPERATURE MEMBRANE  
1.9.2.1. SELF-ADHESIVE  
1.9.2.2. PRIMER AND INSULATION PER MANUFACTURER REQUIREMENTS.  
1.9.2.3. STANDARD OF ACCEPTANCE:  
1.9.2.3.1. SOPREMA, LASTOBOND SHIELD HT

1.10. SECTION 08 11 13 - HOLLOW METAL DOORS AND FRAMES

- 1.10.1. DOOR CONSTRUCTION: A40 GALVANNEAL, FORM EACH FACE SHEET FOR DOORS FROM 16 GAUGE, LOCK SEAM WELDED.  
1.10.2. FRAMES: A40 GALVANNEAL, WELDED TYPE, THERMALLY

- 1.10.3. BROKEN, 18 GAUGE  
1.10.4. INSULATION: STYRENE CORE  
1.10.5. GLAZING: PROVIDE 127MM x 508MM THERMAL VISION PANEL. SEE DOOR TYPE FOR LOCATION.  
1.10.6. FINISH: REFER TO MATERIAL / FINISH SCHEDULE  
1.10.7. INTERIOR TRIM: PROVIDE PAINTED PRIME TRIM AND RETURN AT INTERIOR OF EACH EXT. DOOR. COLOUR TO MATCH WINDOW TRIMS.  
1.11. SECTION 08 53 13 - VINYL WINDOWS  
1.11.1. STANDARD OF ACCEPTANCE:  
1.11.1.1. KOHLTECH SUPREME WINDOWS <<OR>> MBF PRESTIGE SERIES  
1.11.2. TYPES: SINGLE HUNG  
1.11.3. VINYL: SIZES PER DRAWINGS  
1.11.4. COLOUR: WHITE ON BOTH SIDES  
1.11.5. BRICK MOULD: 78" WITH NAILING FLANGE, PICTURE NARROW PROFILE (PN), SILL BRICK MOULD  
1.11.6. GLASS: SEALED INSULATING GLASS  
1.11.6.1. TRIPLE PANE, ENERGELAS WITH ARGON, SHGC 0.48, VLT 0.56, ENERGY RATING 39  
1.11.7. GRILLES: NONE  
1.11.8. INTERIOR ACCESSORIES: SCREENS & 3/4" INTEGRAL RETURN FOR WINDOW LINERS AND COMPLETE WITH ALL OPERATING & LOCKING HARDWARE  
1.11.9. CLASSIFICATION RATING: TO CAN/CSA-A440  
1.12. SECTION 08 71 00 - DOOR HARDWARE  
1.12.1. DOOR D1 - MAIN ENTRANCE DOOR AT RAMP  
1.12.1.1. HINGES (3): FBB 179, 4.5, C260, STANLEY  
1.12.1.2. EXIT DEVICE WITH EXTERIOR TRIM: 8063 PTB 26D RIM TYPE EXIT DEVICE, SARGENT  
1.12.1.3. WEATHERSTRIPPING: W-20S x 20, 4", KNC  
1.12.1.4. THRESHOLD: CT-10 x DOOR WITH, 627 KNC  
1.12.1.5. CLOSER: 1431 RO EN, SARGENT  
1.12.1.6. OVERHEAD STOP: 590H US260, SARGENT  
1.12.1.7. DOOR SWEEP: W-24S x DOOR WIDTH, 628, KNC  
1.12.1.8. DOOR OPERATOR WITH ACTIVATOR BUTTONS: 9542 MS ANGL, LCN  
1.12.1.9. POWER SWITCH: CAMDEN CM-1100 c/w OPTIONAL CYLINDER AND LED INDICATOR  
1.12.1.10. ELECTRIC STRIKE: 6211 FSE CON 630, VON  
1.12.2. DOOR D1 - SIDE EXIT DOOR  
1.12.2.1. HINGES (3): FBB 179, 4.5, C260, STANLEY  
1.12.2.2. EXIT DEVICE WITH EXTERIOR TRIM: 8063 PTB 26D RIM TYPE EXIT DEVICE, SARGENT  
1.12.2.3. WEATHERSTRIPPING: W-20S x 20, 4", KNC  
1.12.2.4. THRESHOLD: CT-10 x DOOR WIDTH, 627 KNC  
1.12.2.5. CLOSER: 1431 RO EN, SARGENT  
1.12.2.6. OVERHEAD STOP: 590H US260, SARGENT  
1.12.2.7. DOOR SWEEP: W-24S x DOOR WIDTH, 628, KNC  
1.13. SECTION 09 21 16 - GYPSUM BOARD ASSEMBLIES  
1.13.1. STANDARD OF ACCEPTANCE:  
1.13.1.1. CGG  
1.13.2. GYPSUM BOARD SHALL COMPLY WITH CSA A82.27, AND SHALL BE 16 MM (5/8") THICK.  
1.13.3. NON-LOAD BEARING STEEL STUDS SHALL BE IN ACCORDANCE WITH CAN/CGSB  
1.13.4. EXTEND STUDS TO UNDERSIDE OF DECK OR STRUCTURE ABOVE, UNLESS SHOWN OTHERWISE.  
1.13.5. GYPSUM BOARD SHALL COMPLY WITH CSA A82.31, AND THE DRYWALL CONSTRUCTION HANDBOOK  
1.13.6. PROVIDE GYPSUM BOARD CEILINGS, WHERE INDICATED  
1.13.7. ALL METAL COMPONENTS OF GYPSUM BOARD ASSEMBLIES SHALL BE GALVANIZED  
1.13.8. ACCESSORIES SHALL COMPLY WITH ASTM C1047  
1.13.9. THICKNESS: MIN. 5/8" / 16MM GWB  
1.13.10. INCLUDE ALL SCREWS, CORNER BEADS, CASING BEADS,

- J MOLDS  
1.13.11. STANDARD OF ACCEPTANCE: SUSPENSION SYSTEM FOR CEILINGS  
1.13.11.1. ARMSTRONG - FRAME/AL FLAT DRYWALL GRID  
1.14. SECTION 09 51 00 - ACOUSTIC CEILINGS  
1.14.1. STANDARD OF ACCEPTANCE:  
1.14.1.1. ARMSTRONG SOUNC ZONE OR APPROVED EQUAL  
1.14.1.1.1. PRODUCT: FINE FISSURED  
1.14.1.1.2. MFG: 0.70  
1.14.1.1.3. EDGE: SQUARE LAY-IN  
1.14.1.1.4. LIGHT REFLECTANCE: 82%  
1.14.1.1.5. SIZE: 610MM X 1220MM X 19MM  
1.14.1.1.1. SUSPENSION GRID: PRELUDE XL 15/16" / 24MM EXPOSED TEE GRID BY ARMSTRONG OR APPROVED EQUAL  
1.15. SECTION 09 65 13 - RESILIENT BASE AND ACCESSORIES  
1.15.1. PROVIDE RESILIENT BASE INCLUDING BUT NOT LIMITED TO FOLLOWING:  
1.15.1.1. RESILIENT BASE TO BE PROVIDE ON ALL GWB WALLS.  
1.15.1.2. COLOUR: REFER TO MATERIAL / FINISH SCHEDULE  
1.16. SECTION 09 65 19 - LUXURY VINYL FLOORING  
1.16.1. PROVIDE LUXURY VINYL PLANK (LVP) FLOORING INCLUDING BUT NOT LIMITED TO FOLLOWING:  
1.16.1.1. LVP AS INDICATED F1 ON THE FINISH SCHEDULE  
1.16.1.2. PREPARATION OF SUB-FLOOR TO RECEIVE LVP, INCLUDING LEVELING ALL JOINTS AND SEALING SCREWS  
1.16.2. STANDARD OF ACCEPTANCE:  
1.16.2.1. FORBO ALLURA FLEX 1.00, 63533FL1  
1.16.2.2. TOTAL THICKNESS: 5mm, WEAR LAYER 1mm  
1.16.2.3. SLIP RESISTANCE: R10  
1.16.2.4. COLOUR: 63533 'LIGHT TIMBER' WITH IR EMBOSSED AND 4-SIDE BEVEL  
1.17. SECTION 09 91 00 - PAINTING  
1.17.1. PAINTING AND FINISHING MATERIALS SHALL COMPLY WITH OR EXCEED REQUIREMENTS FOR PREMIUM GRADE WORK.  
1.17.2. CEILINGS SHALL BE PAINTED EXCEPT THOSE HAVING A FACTORY APPLIED FINAL FINISH  
1.17.3. EXCEPT FOR FACTORY-FINISHED SURFACES, AND WHERE DIRECTED OTHERWISE, ALL EXPOSED SURFACES INCLUDING PIPES, DUCTWORK AND MECHANICAL SHALL BE PAINTED. COLOURS IN MECHANICAL ROOMS SHALL BE COLOUR CODED. ALL EQUIPMENT SHALL BE LABELED.  
1.17.4. LATEX EGGSHELL FOR WALLS  
1.17.5. LATEX FLAT FOR CEILINGS  
1.17.6. CLEAR ANODIC FINISH FOR DOORS, DOOR FRAMES, HANDRAILS, GUARDRAILS  
1.17.7. ALL PAINTING SYSTEMS ARE TO MEET THE OWNERS NEEDS FOR PRODUCT PERFORMANCE.  
1.17.8. COLOURS AND FINISH: REFER TO MATERIAL / FINISH SCHEDULE  
1.18. SECTION 12 24 13 - ROLLER WINDOW SHADES  
1.18.1. STANDARD OF ACCEPTANCE:  
1.18.1.1. HUNTER DOUGLAS ARCHITECTURAL  
1.18.2. PROVIDE SURFACE MOUNTED MANUALLY OPERATED ROLLER WINDOW SHADES TO ALL BUT NOT LIMITED TO INTERIOR GLAZED WINDOWS AND OFFICE INTERIOR SCREENS AND SIDELIGHTS.  
1.18.3. OPENNESS FACTOR: 1%  
1.18.4. MANUALLY CONTROLLED BY STAINLESS BEAD CHAIN  
1.18.5. COLOUR AND FINISH: PRESENTED AND SELECTED BY

- OWNER  
1.19. SECTION 10 11 16 - MARKERBOARDS  
1.19.1. MATERIALS:  
1.19.1.1. LAMINATING ADHESIVE: TO MANUFACTURER'S STANDARD  
1.19.1.2. JOINT REINFORCEMENT: CONCEALED MECHANICAL JOINTING SYSTEM TO PROVIDE STRAIGHT, RIGID, CONTINUOUSLY SUPPORTED, TIGHT BUTT, FLUSH JOINTS AT SURFACE  
1.19.1.3. ANCHOR CLIPS, BRACKETS AND FASTENERS: CONCEALED TYPE RECOMMENDED BY MANUFACTURER  
1.19.1.4. FACINGS: HARDBOARD TO CAN/CSG8-11.3, 3MM THICK  
1.19.1.5. CORE: FIREBOARD TO CAN/CSA A247, TYPE II, OR PLYWOOD TO CAN/CSA 0188.1, GRADE R OR PLYWOOD TO CSA 0121.  
1.19.2. COMPONENTS:  
1.19.2.1. EXTRUDED ALUMINUM: ALUMINUM ASSOCIATION ALLOY AA6063-T5  
1.19.2.2. MARKERBOARD TRIM AND FRAMING: PERIMETER TRIM OR FRAME, MAP RAIL WITH CORK INSERT, BOTTOM RAIL WITH INTEGRAL TROUGH AND END CLOSURES, OF MANUFACTURER'S STANDARD SECTIONS APPROPRIATE FOR INSTALLATION CONDITIONS.  
1.19.3. FABRICATION:  
1.19.3.1. FABRICATE MARKERBOARD PANELS TO SIZES INDICATED, MARKERBOARDS UP TO 3.6M LENGTH SHALL BE CONSTRUCTED IN ONE PIECE WITH NO SURFACE JOINTS  
1.19.3.2. COORDINATE PANELS FLAT AND RIGID AND FIT WITH JOINT REINFORCEMENT.  
1.19.3.3. INSTALL TRIM ON PANELS IN FACTORY. MAKE MITRES AND JOINTS TO HAIRLINE FIT, FREE OF ROUGH EDGES. USE CONCEALED BRACKETS TO REINFORCE AND HOLD JOINTS TIGHT AND FLUSH. NO EXPOSED FASTENERS PERMITTED.  
1.19.3.4. OVERLAP TRIM 6 MM ONTO PANELS. PROVIDE EXTRUSIONS  
1.19.3.5. FACTORY FIT ASSEMBLIES TOO LARGE FOR SHIPMENT TO SITE IN ONE PIECE, DISASSEMBLE FOR DELIVERY AND SITE ASSEMBLY.  
1.19.4. FINISHES:  
1.19.4.1. PROPERTIES OF WRITING SURFACE:  
1.19.4.1.1. SURFACE FINISH FOR ERASABLE MARKERS: WHITE PORCELAIN ENAMEL  
1.19.4.1.2. UNAFFECTED BY SOLVENTS AND REAGENTS SUCH AS BENZENE, GASOLINE, ACETONE, XYLOL, 10% CAUSTIC SODA, LACQUER THINNER  
1.19.4.1.3. RESIST IMPACT TO 52 KG/CM (GARDNER IMPACT TESTER)  
1.19.4.1.4. WITHSTAND 180 DEGREE BEND ON ITSELF ON METAL SUBSTRATE WITHOUT CRACKING OR LOSS OF BOND  
1.19.4.1.5. PASS ADHESION TEST CONSISTING OF SCRATCHES 0.8 MM APART TO DEPTH OF SUBSTRATE, FOLLOWED BY CELLULOSE TAPE APPLICATION AND QUICK REMOVAL, WITHOUT DISLODING ADJACENT FINISH.  
1.19.4.2. ALUMINUM TRIM FINISHES: FINISH EXPOSED SURFACES OF ALUMINUM COMPONENTS IN ACCORDANCE WITH ALUMINUM ASSOCIATION DESIGNATION SYSTEM FOR ALUMINUM FINISHES.  
1.19.4.2.1. CLEAR ANODIC FINISH  
1.19.4.3. ACCEPTABLE PRODUCTS: STANDARD MARKERBOARDS: RITE-ON, WIPE-OFF WRITING BOARDS, SERIES 400 CLASSIC BY ARCHITECTURAL

- SCHOOL PRODUCTS LTD OR APPROVED EQUAL  
1.19.5. INSTALLATION  
1.19.5.1. INSTALL MARKERBOARDS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, PARALLEL TO FLOOR WITH UNIFORM VERTICAL SURFACE, PLUMB AND LEVEL, TO PROVIDE RIGID, SECURE WRITING SURFACE.  
1.19.6. SCHEDULE  
1.19.6.1. TWO (2) 1220MM x 2438MM MARKERBOARDS IN CLASSROOM 100 AS INDICATED ON DRAWINGS. REFER TO INTERIOR ELEVATION FOR LOCATIONS.  
1.20. SECTION 10 11 23 - TACKBOARDS  
1.20.1. MATERIALS  
1.20.1.1. UTILITY SHEET ALUMINUM: PLAIN, 1.5 MM MINIMUM THICKNESS.  
1.20.1.2. LAMINATING ADHESIVE: TO MANUFACTURER'S STANDARD.  
1.20.1.3. MOUNTING ADHESIVE: TO MANUFACTURER'S STANDARD.  
1.20.1.4. ANCHOR CLIPS, BRACKETS AND FASTENERS: CONCEALED TYPE RECOMMENDED BY MANUFACTURER SELECTED BY OWNER FOR FIXED MOUNTING.  
1.20.1.5. FACINGS: NATURAL CORK TACKBOARDS: SINGLE LAYER NATURAL CORK FINE GRAIN SHEET, 6.0 MM THICK, NATURAL COLOUR  
1.20.1.6. CORE: FIREBOARD TO CAN/ULC-S706, TYPE II, NATURAL COLOR.  
1.20.1.7. BACKING: FIREBOARD TO CAN/ULC-S706, TYPE II.  
1.20.2. COMPONENTS  
1.20.2.1. EXTRUDED ALUMINUM: ALUMINUM ASSOCIATION ALLOY AA6063-T5, MINIMUM 1.5 MM WALL THICKNESS.  
1.20.2.2. TACKBOARD TRIM AND FRAMING: PERIMETER OR FRAME, MAP RAIL WITH CORK INSERT, OF MANUFACTURER'S STANDARD SECTIONS APPROPRIATE FOR INSTALLATION CONDITIONS.  
1.20.3. FABRICATION  
1.20.3.1. FABRICATE TACKBOARD PANELS TO SIZES INDICATED.  
1.20.3.2. INSTALL TRIM ON PANELS IN FACTORY. MAKE MITRES AND JOINTS TO HAIRLINE FIT, FREE OF ROUGH EDGES WITH CONCEALED BRACKETS TO REINFORCE AND HOLD JOINTS TIGHT AND FLUSH. NO EXPOSED FASTENERS PERMITTED.  
1.20.3.3. OVERLAP TRIM 6.0 MM ONTO PANELS. PROVIDE CLOSED ENDS FOR OPEN-END EXTRUSIONS.  
1.20.4. FINISHES  
1.20.4.1. ALUMINUM TRIM FINISHES:  
1.20.4.1.1. FINISH EXPOSED SURFACES OF ALUMINUM COMPONENTS IN ACCORDANCE WITH ALUMINUM ASSOCIATION DESIGNATION SYSTEM FOR ALUMINUM FINISHES.  
1.20.4.1.2. CLEAR ANODIC FINISH: DESIGNATION AA-M32, C 12, C 22 A 31  
1.20.4.1.3. APPEARANCE AND PROPERTIES OF ANODIZED FINISHES DESIGNATED BY THE ALUMINUM ASSOCIATION AS ARCHITECTURAL CLASS 1, ARCHITECTURAL CLASS 2, AND PROTECTIVE AND DECORATIVE.  
1.20.5. INSTALLATION  
1.20.5.1. INSTALL TACKBOARDS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, PARALLEL TO FLOOR WITH UNIFORM VERTICAL SURFACE, PLUMB AND LEVEL, TO PROVIDE RIGID, SECURE SURFACE.  
1.20.5.2. MECHANICAL ATTACHMENT: TO WOOD OR SHEET METAL USE SCREWS. SECURE INTO FRAMING STUDS AND STUB WALLS.  
1.20.6. SCHEDULE  
1.20.6.1. ONE (1) 1220MM x 1829MM TACKBOARD IN CLASSROOM 100 AS INDICATED ON DRAWINGS.



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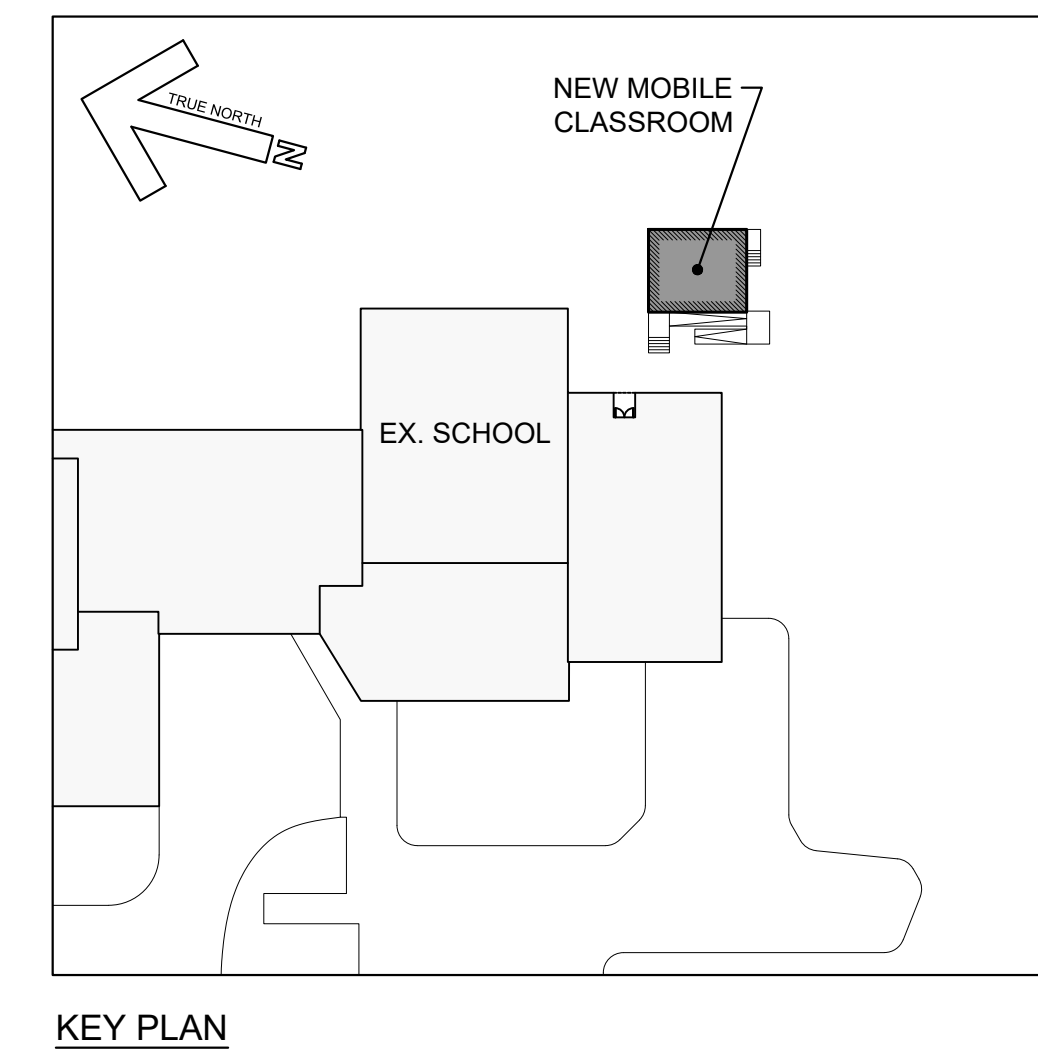
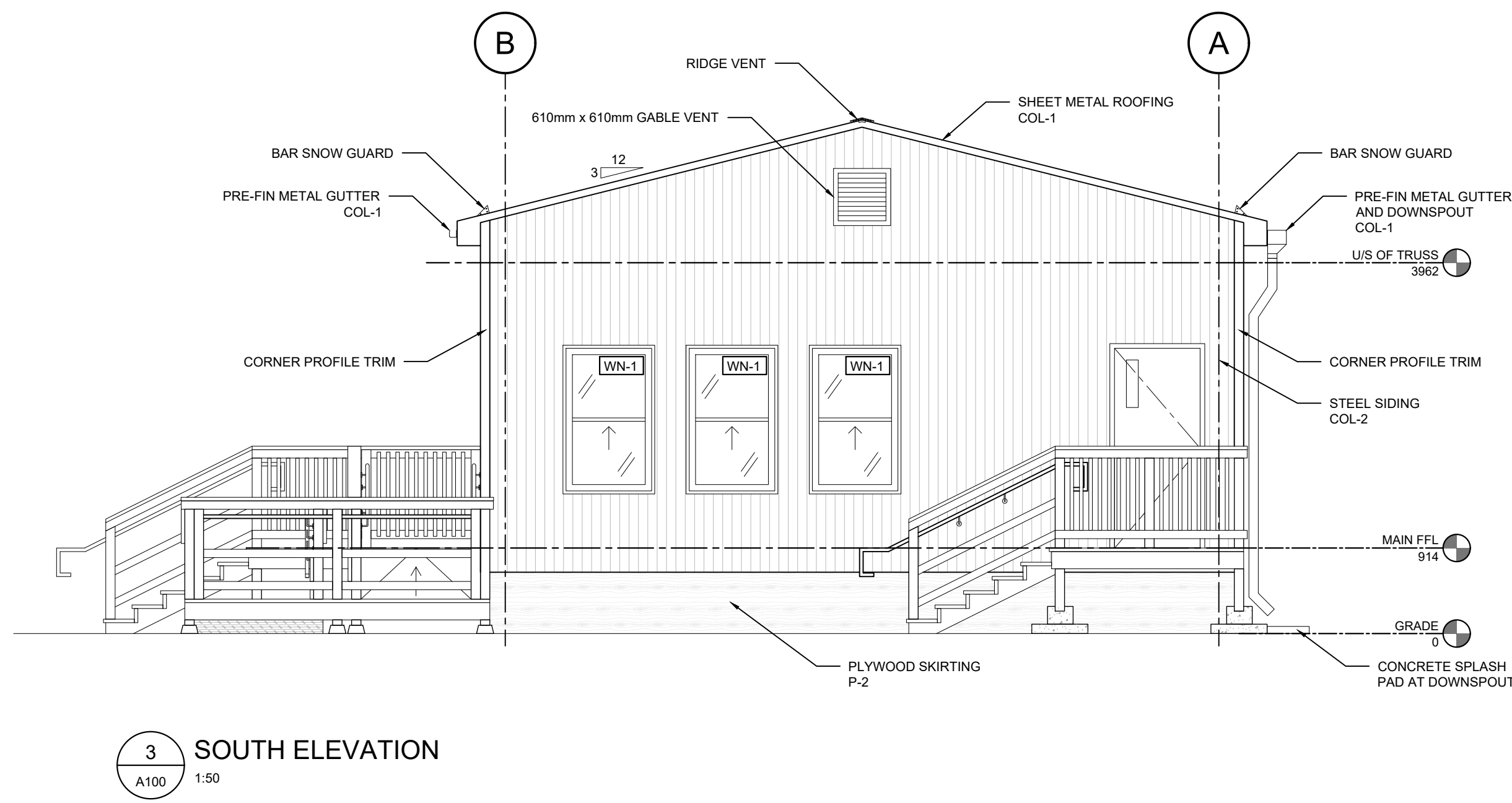
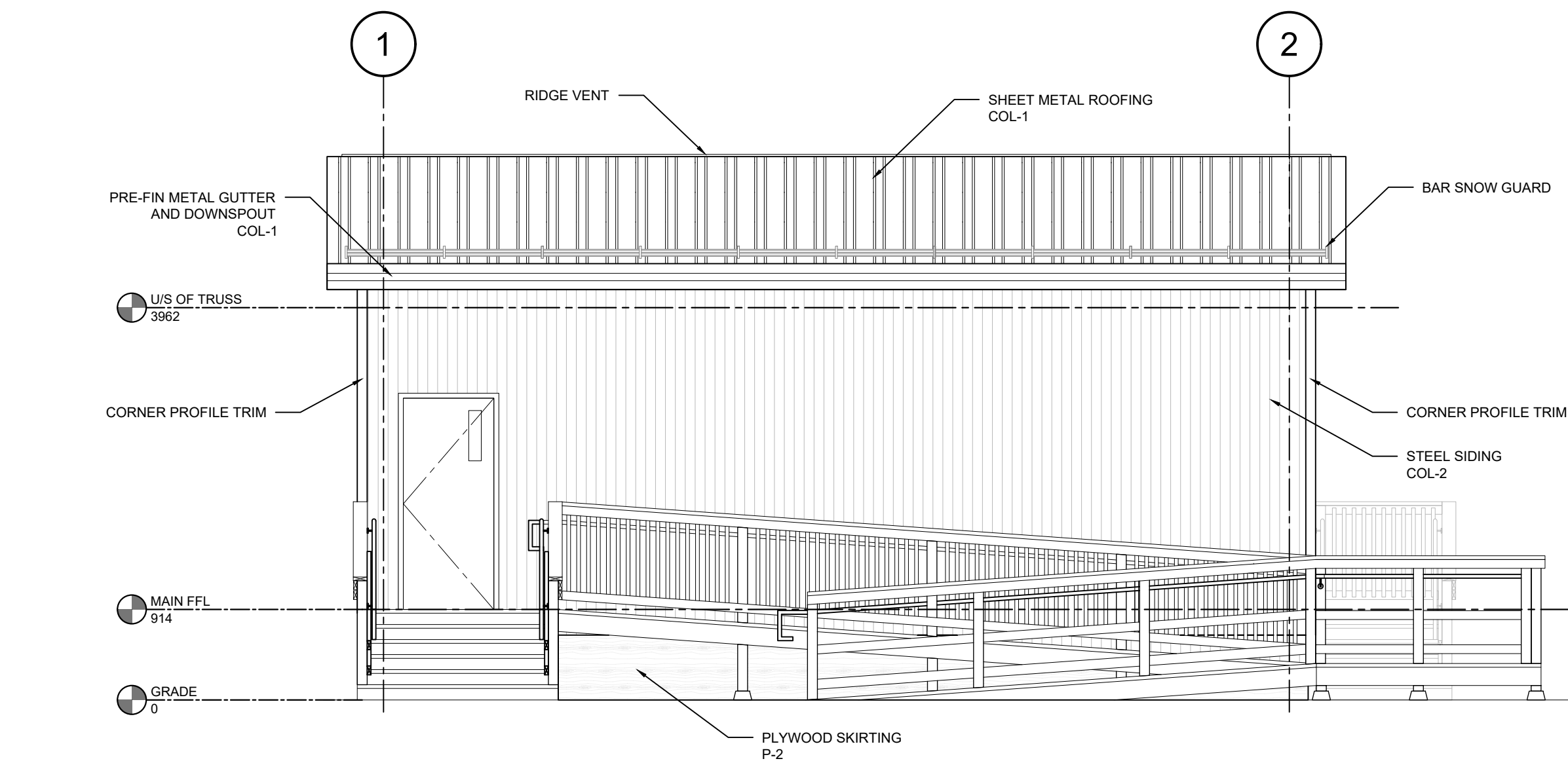
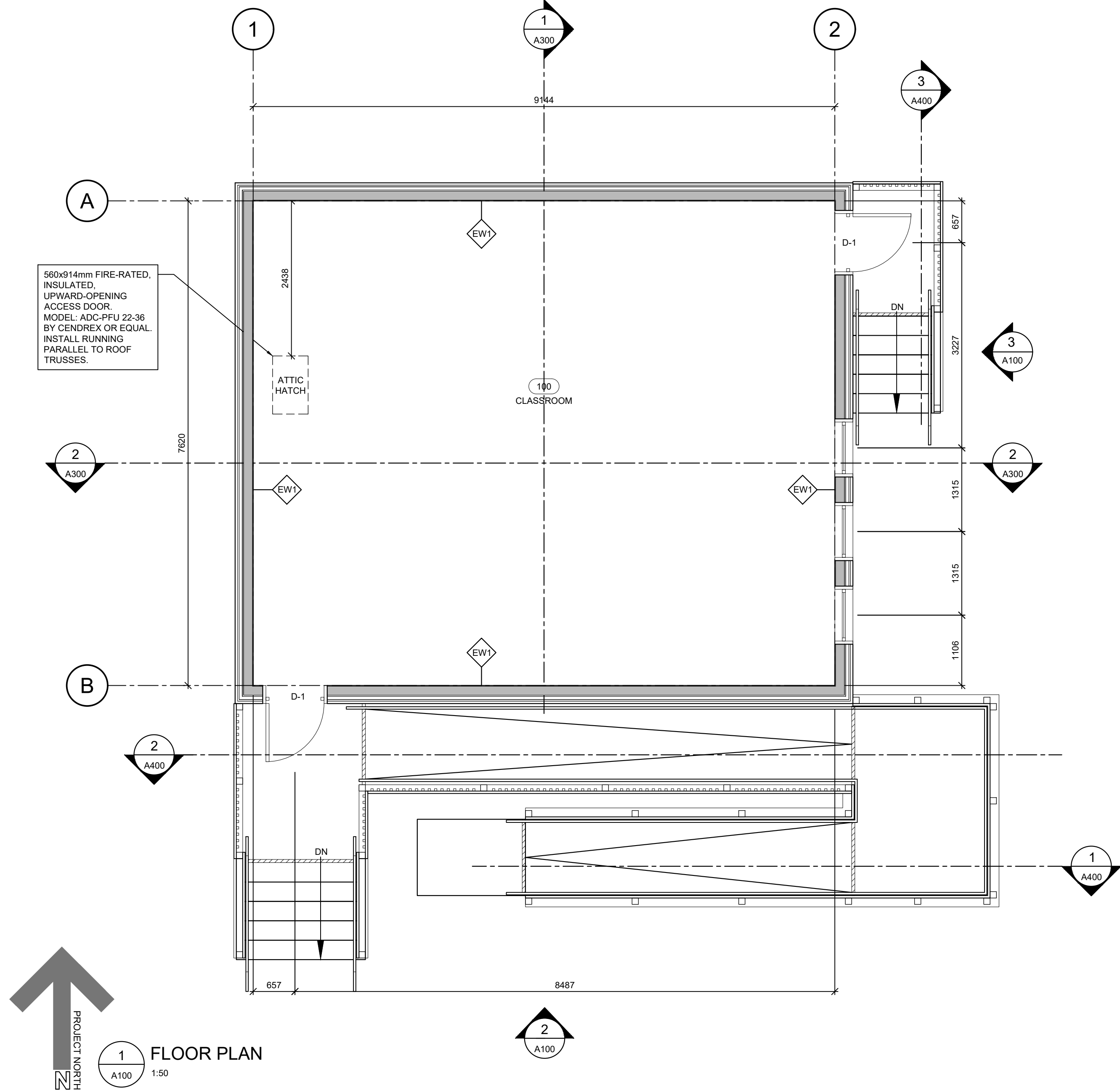
Client  
Prince Edward Island Department of Transportation and Infrastructure  
PEIG DTI #470-25016

Project Title  
Queen Elizabeth Elementary School  
Stand-Alone Mobile Classroom

Sheet Title  
Project Info., Schedules & Legends  
Outline Specifications  
Partial Site Plan

| No. | Description       | Date       | Date: 2025-05-22          | Revision |
|-----|-------------------|------------|---------------------------|----------|
| 0   | Issued For Tender | 2025-05-22 | Drn By: AB<br>Chk By: DD  | 0        |
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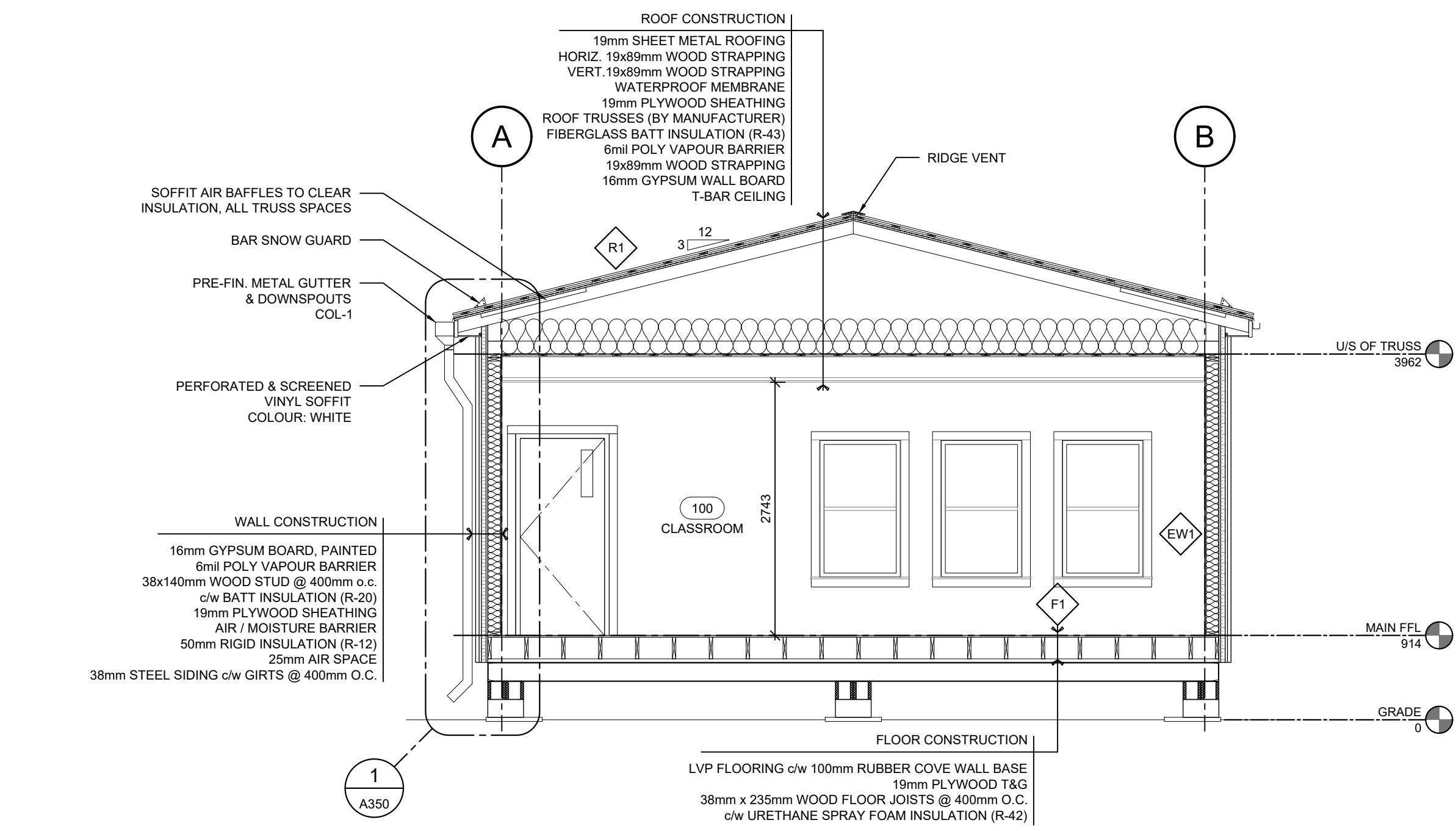


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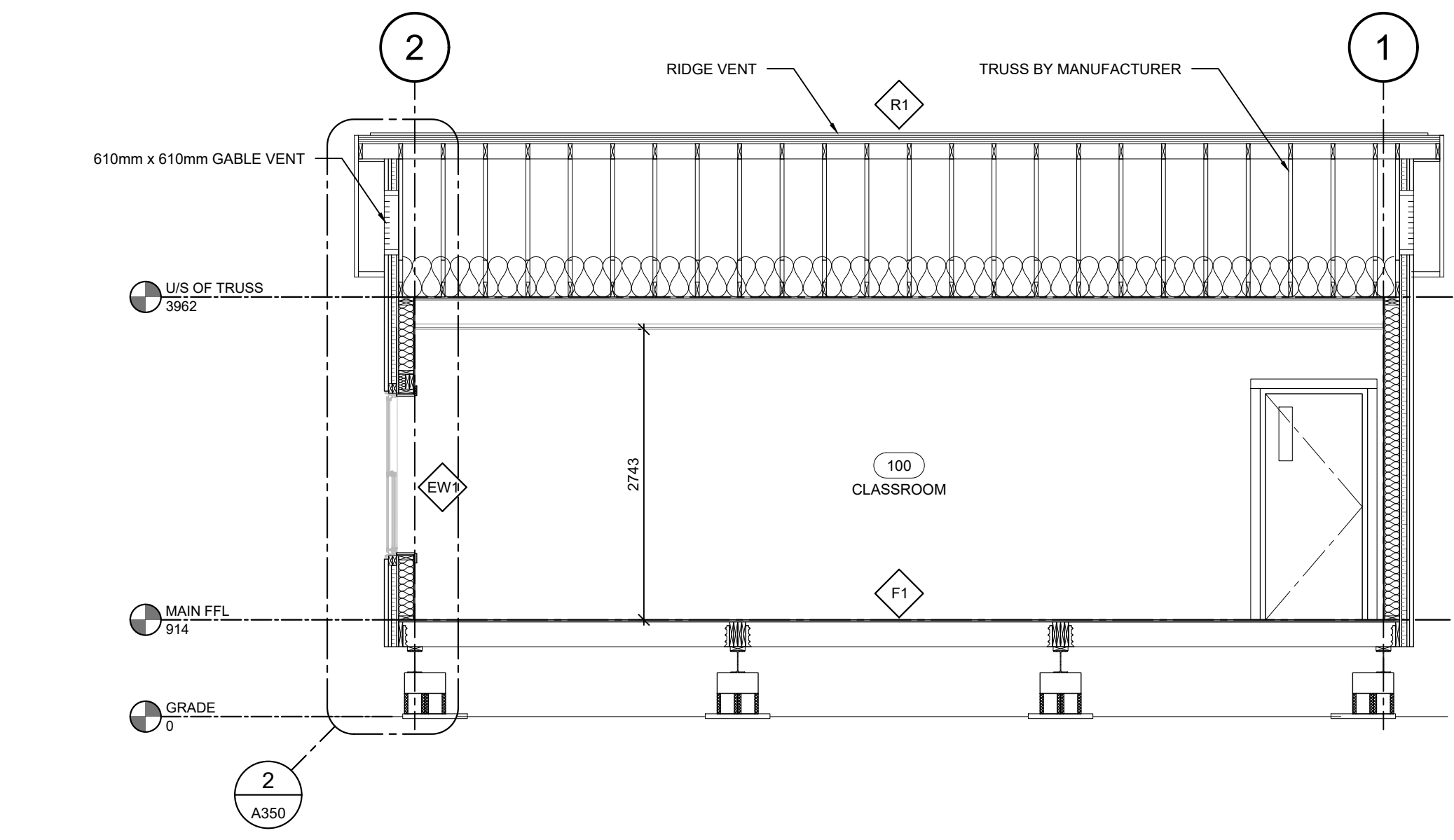
Project Title  
Queen Elizabeth Elementary School  
Stand-Alone Mobile Classroom

Sheet Title  
Architectural Floor Plan  
and Exterior Elevations

| No. | Description       | Date       | Date: 2025-05-22 | Revision |
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| 0   | Issued For Tender | 2025-05-22 | Drn By: AB       | 0        |
|     |                   |            | Chk By: DD       |          |
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|     |                   |            | <b>251074</b>    |          |
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1 BUILDING SECTION  
A300 1:50



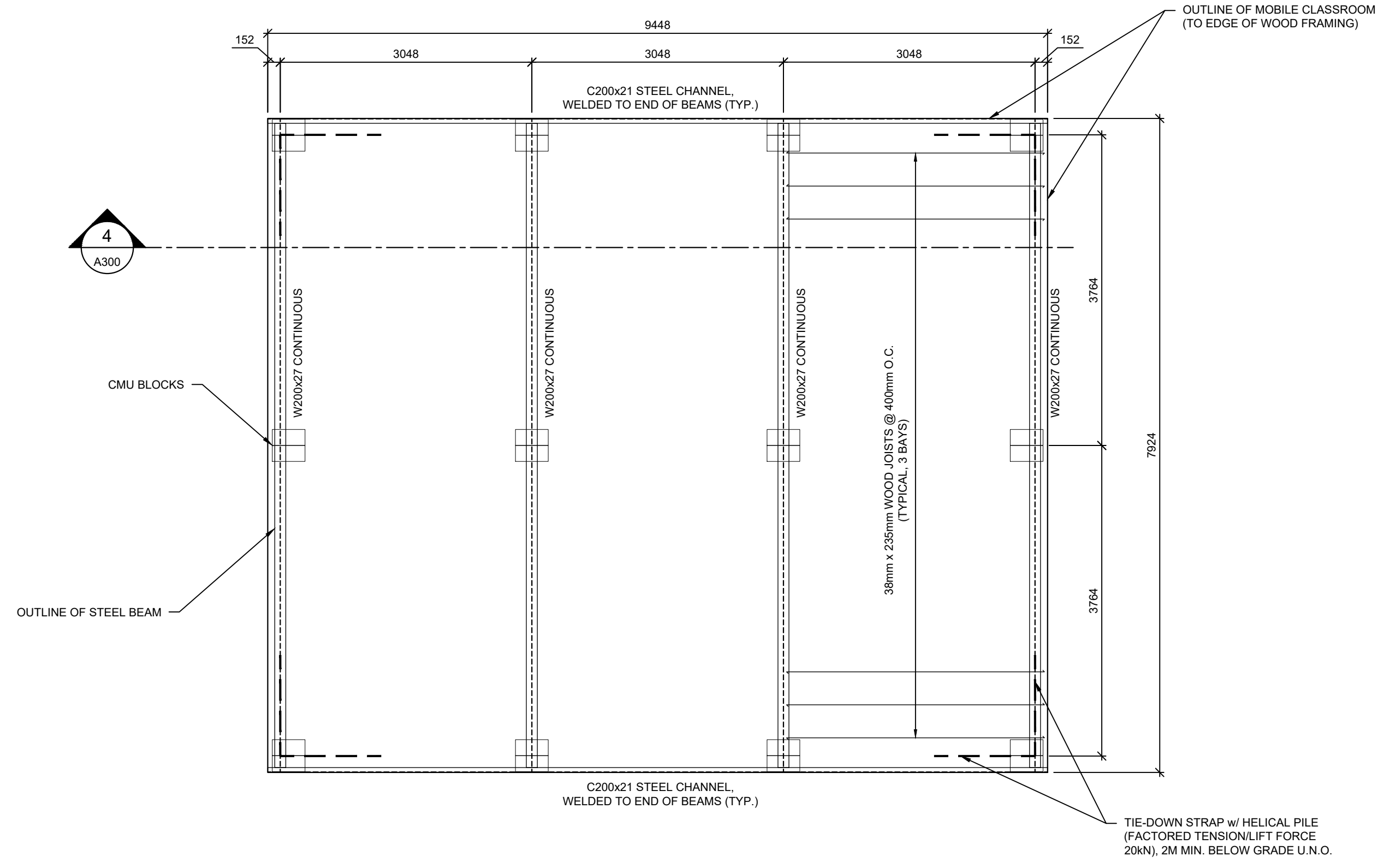
2 BUILDING SECTION  
A300 1:50

ROUGH CARPENTRY & ROOF TRUSS NOTES

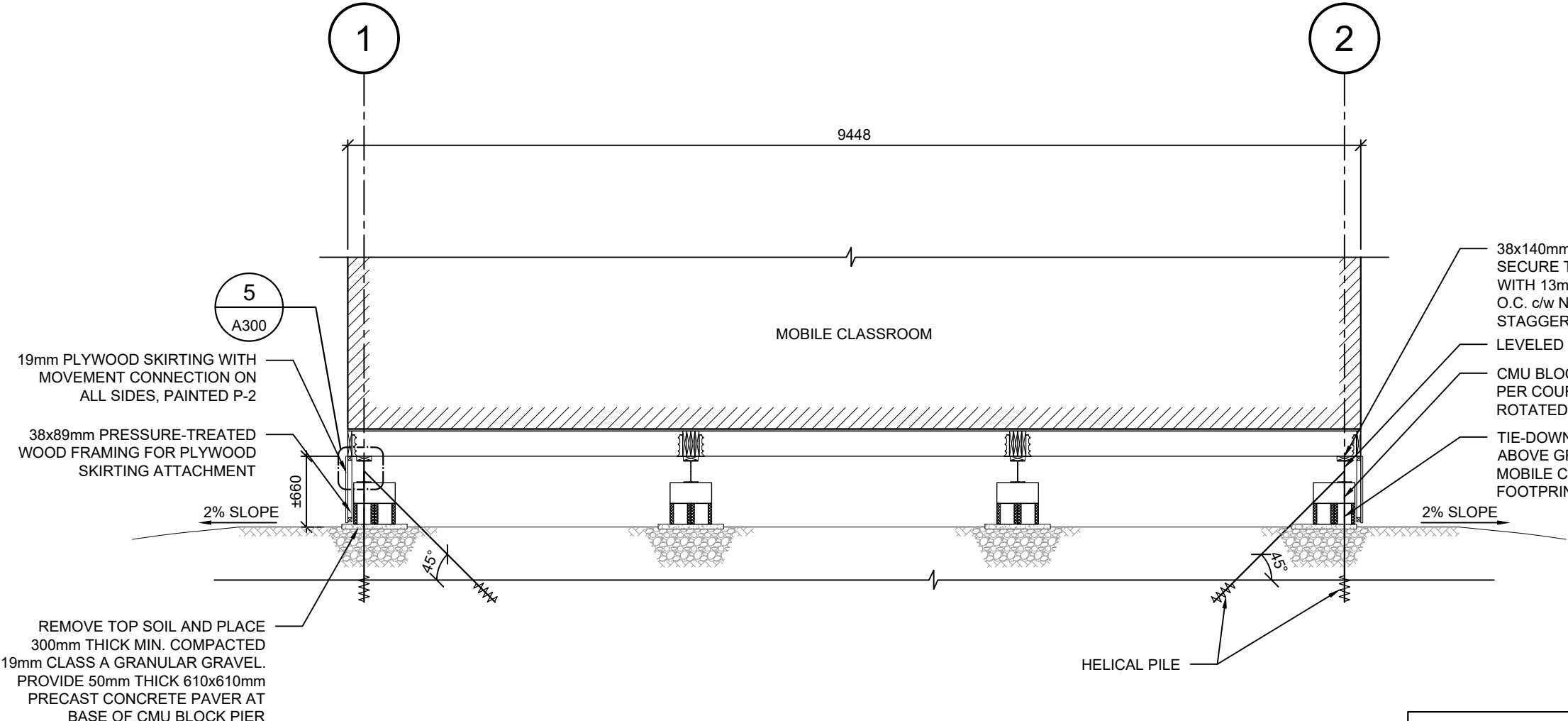
- ALL WOOD STRUCTURAL MEMBERS, ASSEMBLIES AND FASTENERS SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD 086.1 (LATEST EDITION).
- ALL LUMBER SHALL BE IDENTIFIED BY THE GRADE MARK IN ACCORDANCE WITH THE MARKING PROVISIONS OF CSA STANDARD 0141.
- ALL LUMBER SHALL BE STRUCTURAL GRADE DRY, SPF NO. 2 MINIMUM, MOISTURE CONTENT NOT GREATER THAN 19% AT INSTALLATION.
- ALL PLYWOOD SHALL BE EXTERIOR GRADE DOUGLAS FIR PLYWOOD TO CSA 0121 AND MANUFACTURED WITH WATERPROOF GLUE.
- UNLESS NOTED OTHERWISE PROVIDE FULL WIDTH 38mm (1-1/2") THICK WOOD NAILER PLATE ON FLANGES OF STEEL BEAMS AS REQUIRED. SECURE WITH 12mm (1/2") DIA. BOLTS AT 610mm (24") ON CENTER STAGGERED.
- PROVIDE GALVANIZED METAL JOIST HANGERS WHERE JOISTS NOT SUPPORTED ON WALLS OR BEAMS. SIZE ADEQUATE TO SUPPORT DESIGN LOADS.
- ALL FASTENERS AND METAL IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR APPROVED EQUAL.
- SHEATHING SHALL BE FASTENED AT 150mm (6") ON CENTER AT EDGES AND END SUPPORTS AND AT 300mm (12") CENTERS AT INTERMEDIATE SUPPORTS.
- REQUIRED TRUSS/JOIST ANCHORS, CLIPS, HANGERS, ETC. SHALL BE DESIGNED AND SUPPLIED BY TRUSS/JOIST MANUFACTURER TO ACCOMMODATE ALL LOADS, INCLUDING UPLIFT.
- VENTILATE AND FIRE STOP ALL SPACES TO NBCC REQUIREMENTS.
- ALL TRUSSES SHALL BE DESIGNED FOR SNOW AND WIND LOAD AS PER NBCC AND INCREASED LOADS FOR SNOW DRIFT AT HIGHER OBSTRUCTIONS.
- DESIGN TO SUPPORT THE LOADS INDICATED WITH A MAXIMUM SPAN DEFLECTION, UNDER LIVE LOAD, OF 1/240 FOR ROOF AND 1/480 FOR FLOOR. TRUSS MANUFACTURER TO SIZE AND PROVIDE REQUIRED LVL BEAMS.
- DESIGN TEMPORARY ROOF AND WALL BRACINGS TO SUPPORT LOADS.
- PROVIDE HORIZONTAL BRIDGING AS REQUIRED BY TRUSS DESIGN. REFER TO TRUSS SUPPLIERS SHOP DRAWINGS (U.N.O.).
- MANUFACTURED WOOD TRUSS SYSTEM TO BE DESIGNED BY MANUFACTURER AND SEALED BY AN ENGINEER LICENSED TO PRACTICE IN PEI.
- PROVIDE GABLE END TRUSSES AS REQUIRED ALL LOCATIONS.
- PROVIDE 38mm x 89mm STRAPPING AT 600mm c/c ON TOP AND ACROSS BOTTOM CHORD OF WOOD TRUSSES.
- COORDINATE TRUSS DESIGN AND CONFIGURATION WITH MECHANICAL DUCTING AND ADJUST TRUSS WEBBING AS REQUIRED TO SUIT.

SPECIFIED ROOF LOADS

|   |          |
|---|----------|
| ROOF DEAD LOAD:   |          |
| ROOFING SYSTEM  | = 10 PSF |
| MECH + ELEC   | = 10 PSF |
| CEILING & FIXTURE   | = 5 PSF  |
| TOTAL DEAD LOAD: = 25 PSF   |          |
| ROOF LIVE LOAD:   |          |
| SNOW STANDARD   | = 58 PSF |
| WIND PRESSURE   |          |
| 1/10 = 10.0 PSF   |          |
| 1/50 = 13.0 PSF   |          |
| ROOF TRUSSES TO BE DESIGNED FOR NET UPLIFT OF 20 PSF. DESIGN ROOF TRUSSES FOR SNOW ACCUMULATION AS PER NBCC REQUIREMENTS. |          |
| TOTAL ROOF LOAD: = 83 PSF   |          |



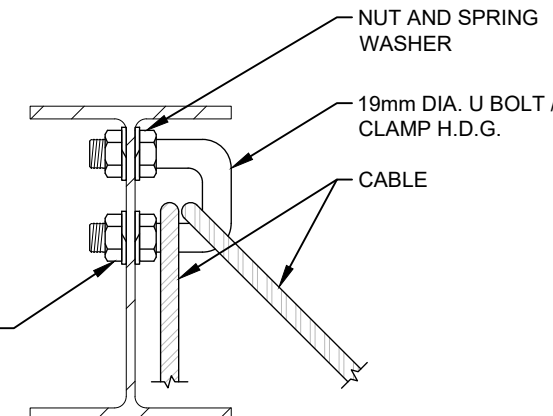
3 PLAN: MOBILE CLASSROOM STRUCTURE & FOUNDATION  
A300 1:50



4 SECTION: MOBILE CLASSROOM STRUCTURE & FOUNDATION  
A300 1:50

STRUCTURAL NOTES

- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND SERVICES (SHOWN OR NOT SHOWN ON DRAWINGS) PRIOR TO EXCAVATING, TRENCHING, OR DRILLING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE LOCATIONS OF ALL UNDERGROUND UTILITIES AND SHALL ENSURE THAT NO DAMAGE OCCURS TO THESE SERVICES DURING CONSTRUCTION.
- TIE-DOWN STRAPS TO BE ORIENTED INWARD SUCH THAT THE STRAPS REMAIN WITHIN THE FOOTPRINT OF THE MOBILE CLASSROOM AND DO NOT OBSTRUCT THE INSTALLATION OF PLYWOOD SKIRTING AROUND THE STRUCTURAL FOUNDATION ON ALL SIDES.
- TIE-DOWNS SHALL CONSIST OF AUGER-TYPE ANCHORS OR SCREW PILES WITH 1.25" X 0.035" GALVANIZED STEEL STRAPS OR EQUIVALENT STEEL CABLE. TIE-DOWN STRAPS ARE TO BE ADJUSTABLE TO ALLOW POST-TENSIONING.
- CONCRETE MASONRY UNIT (CMU) PIERS ARE NOT REQUIRED TO BE CONCRETE FILLED.



5 TIE DOWN CONNECTION DETAIL  
A300 1:5



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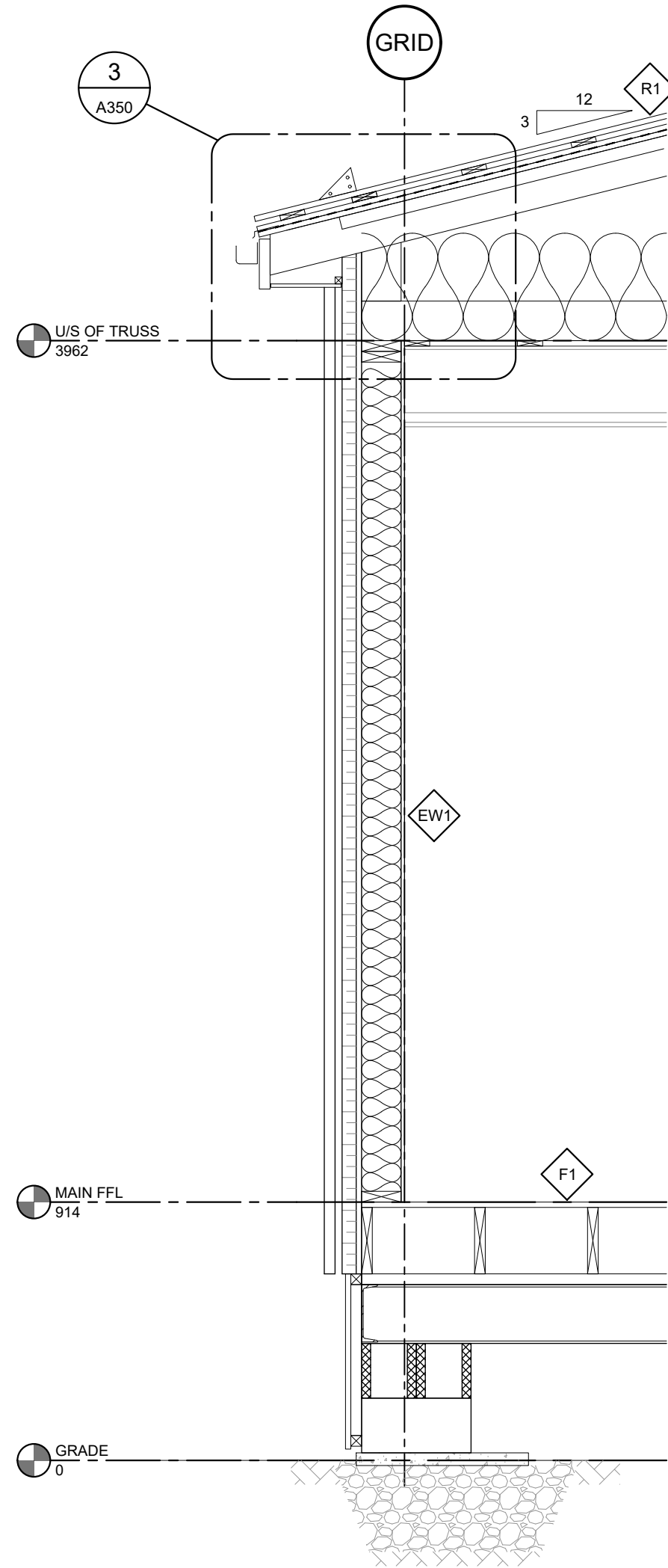


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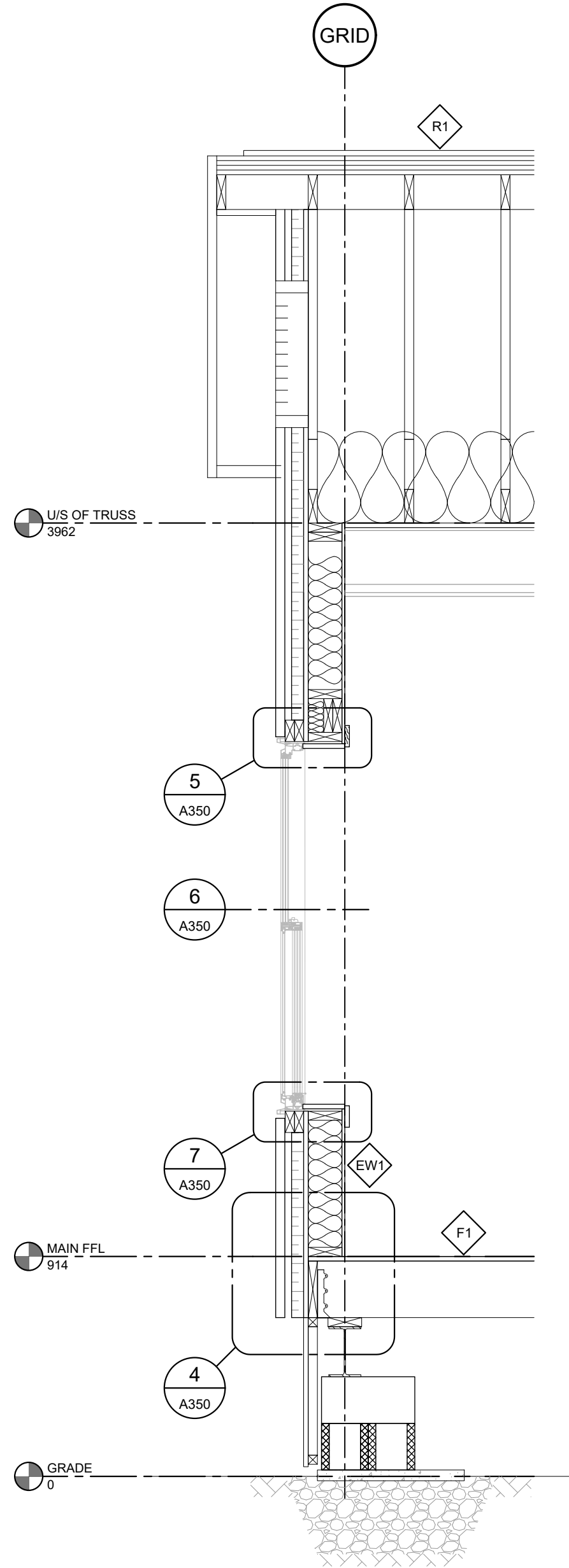
Project Title  
Queen Elizabeth Elementary School  
Stand-Alone Mobile Classroom

Sheet Title  
Building Sections  
and Structural Details

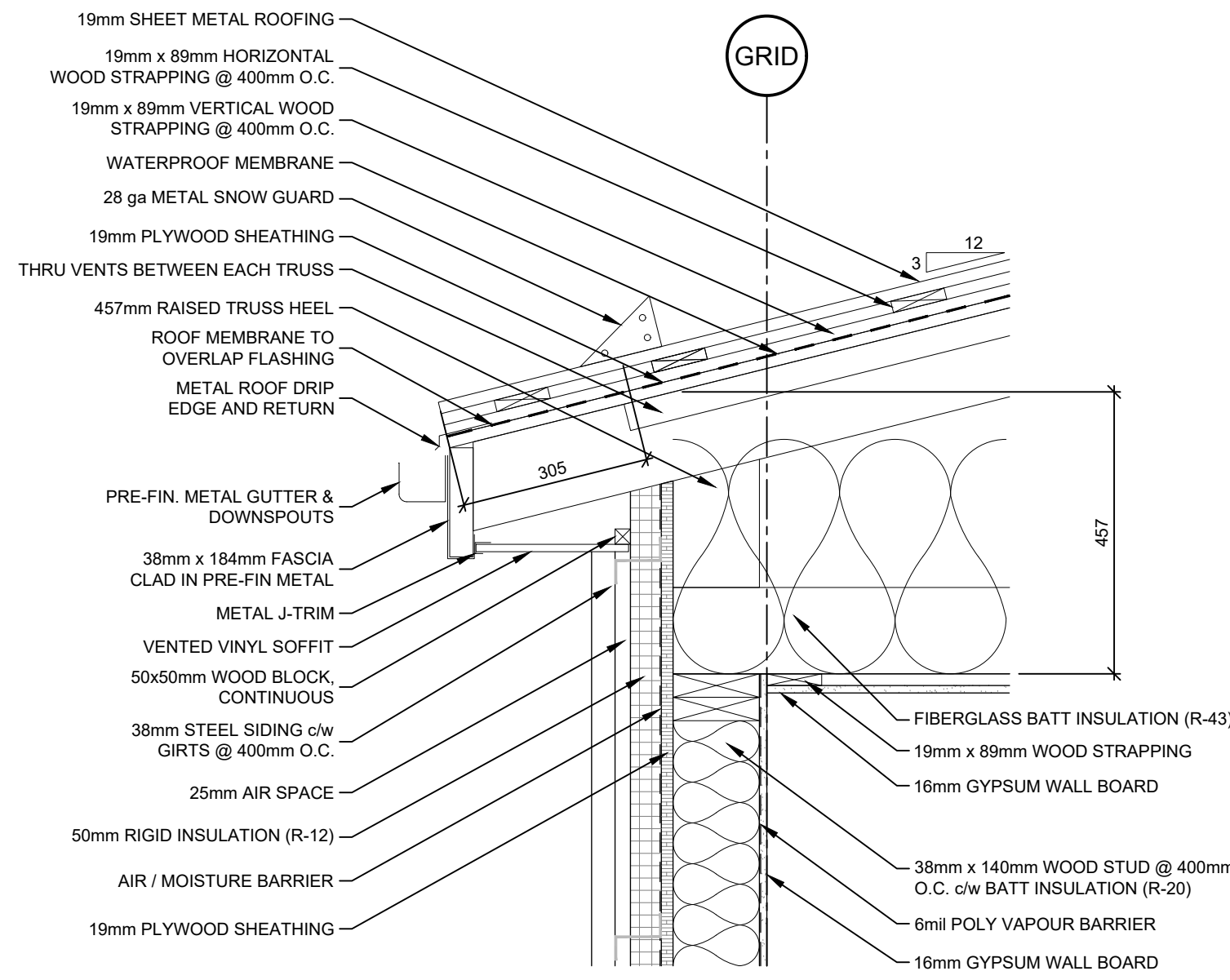
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|     |                   |            | Project Number: |          |
|     |                   |            | 251074          |          |
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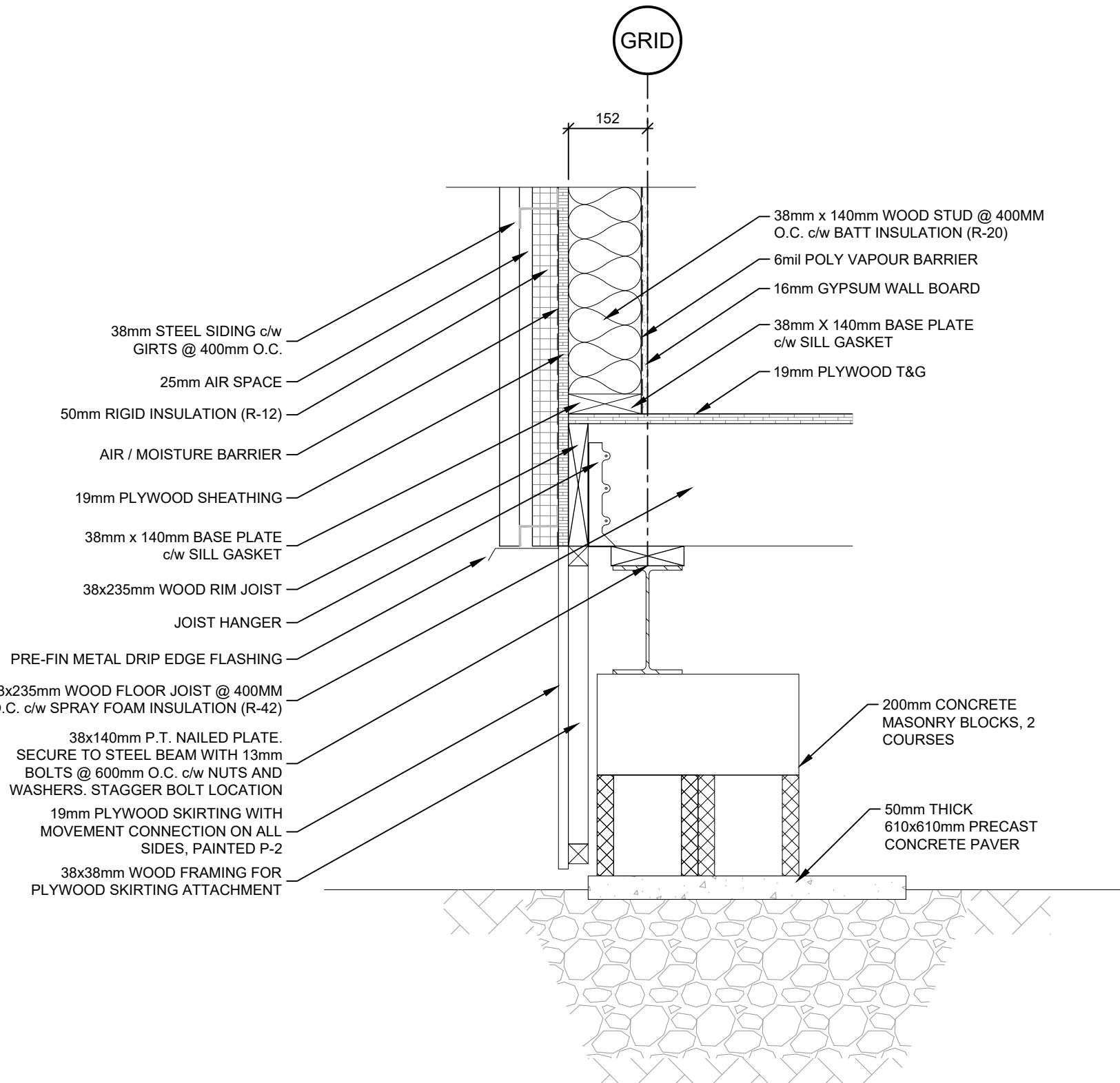
1 WALL SECTION  
A350 1:20



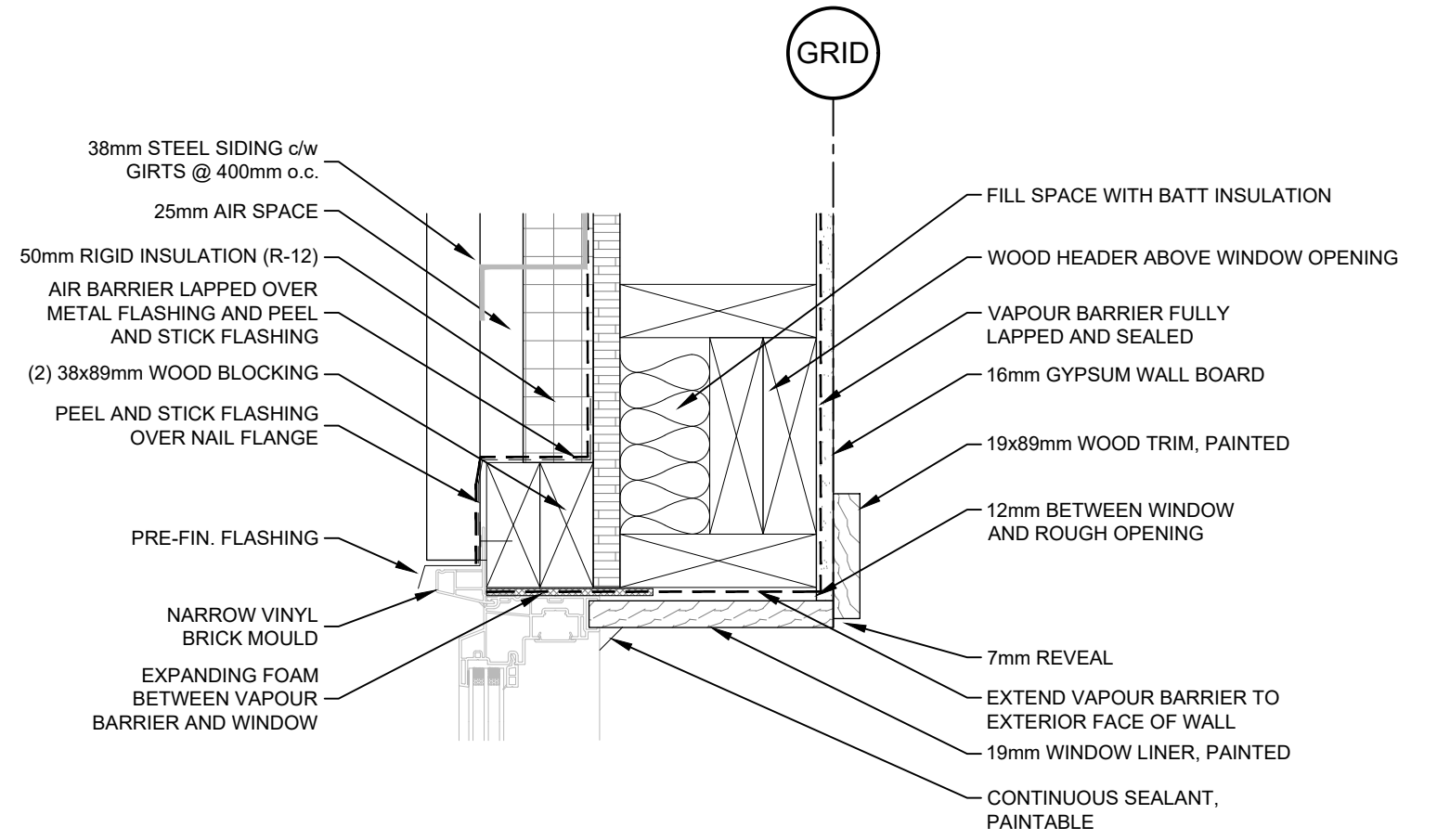
2 WALL SECTION  
A350 1:20



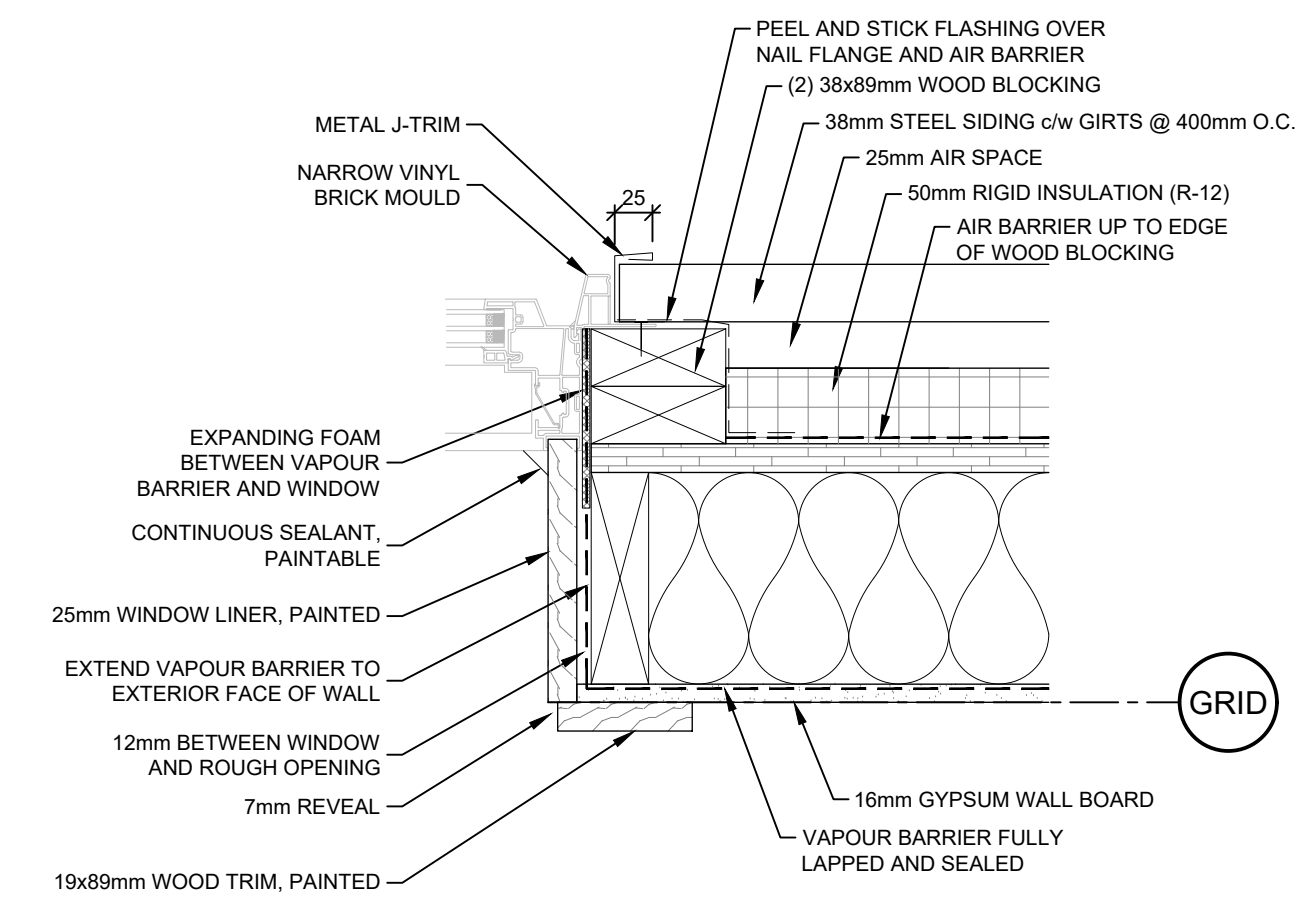
3 EAVE DETAIL  
A350 1:10



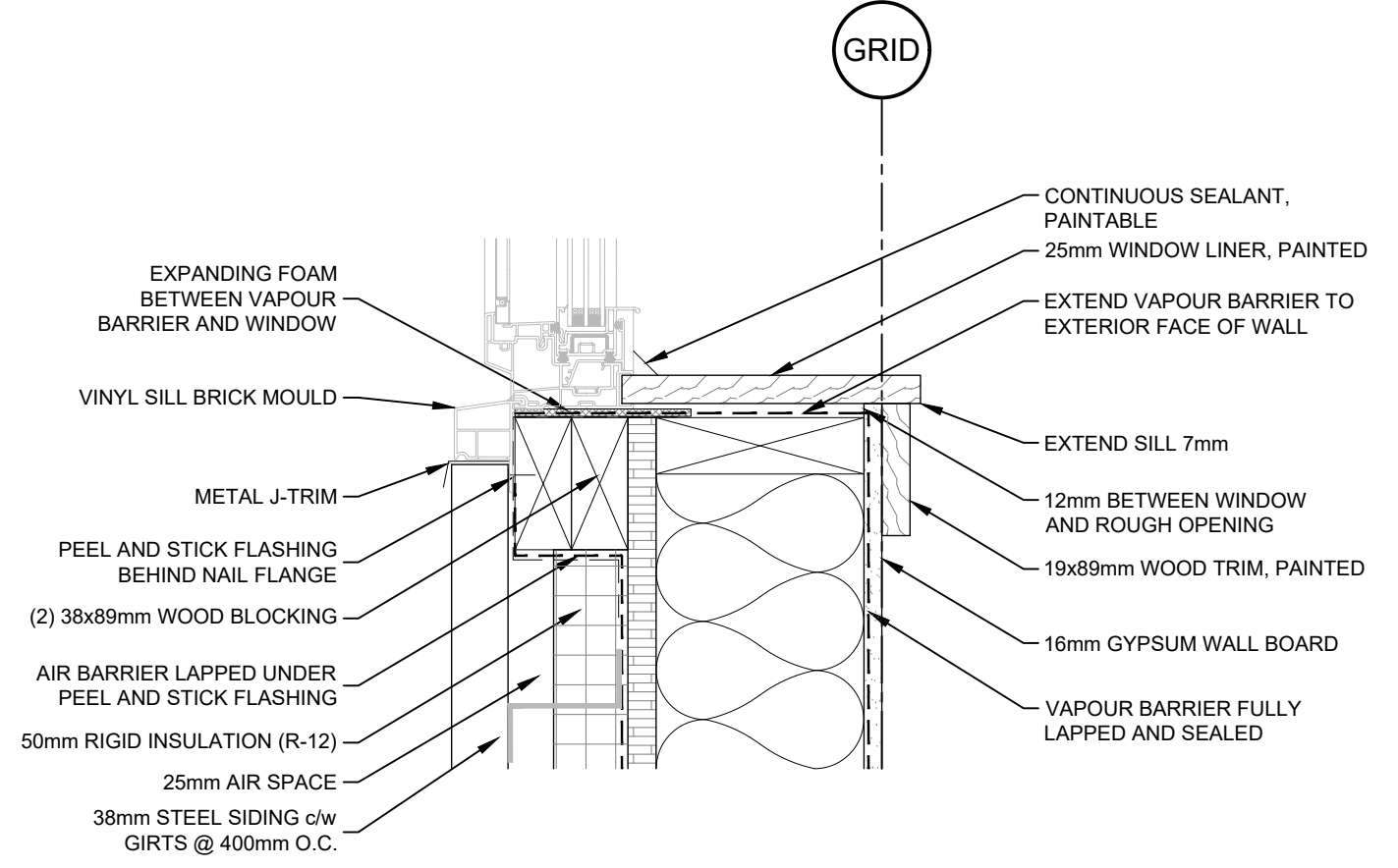
4 FOOTING DETAIL  
A350 1:10



5 WINDOW HEAD DETAIL  
A350 1:5



6 WINDOW JAMB DETAIL  
A350 1:5



7 WINDOW SILL DETAIL  
A350 1:5

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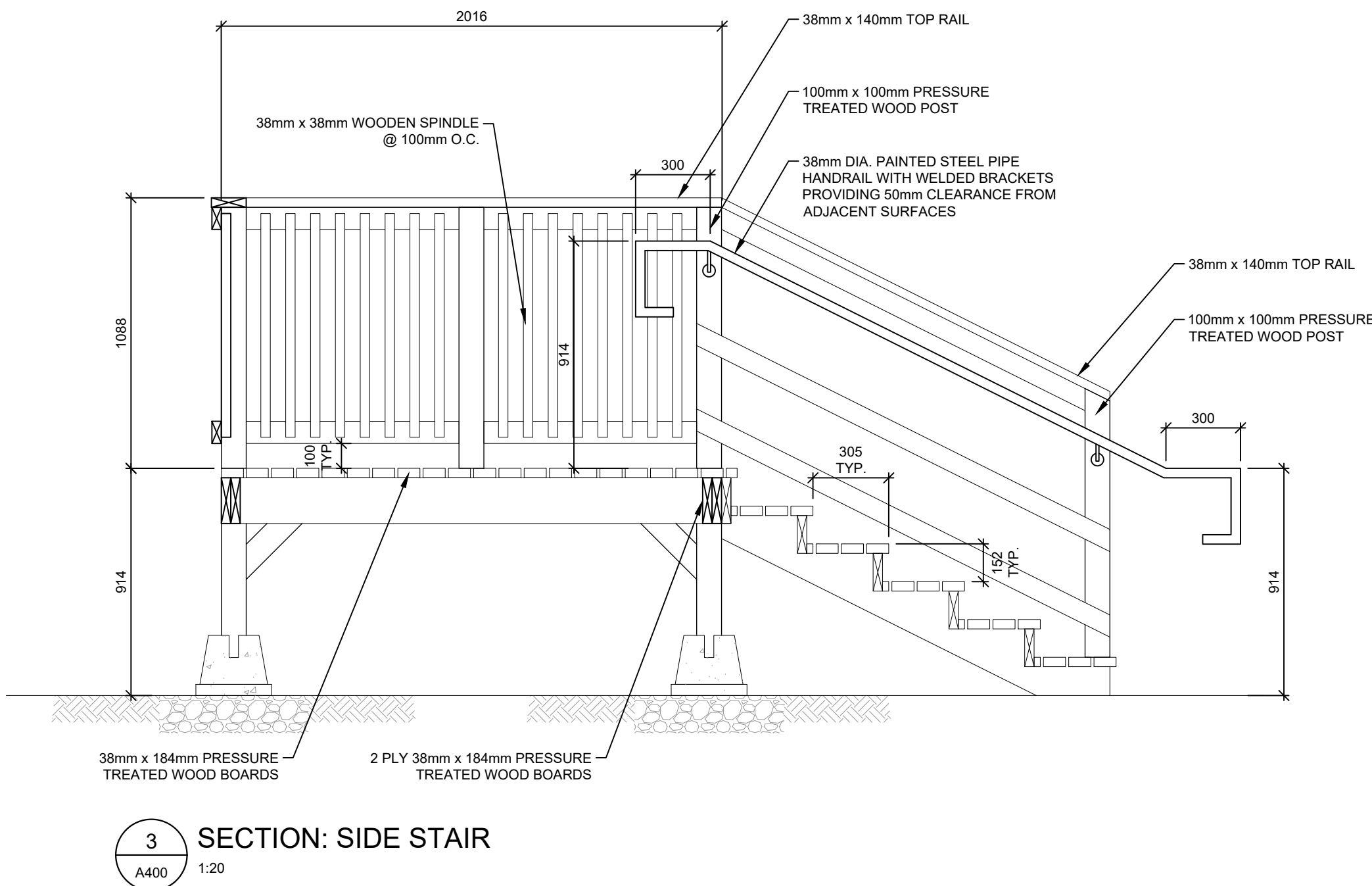
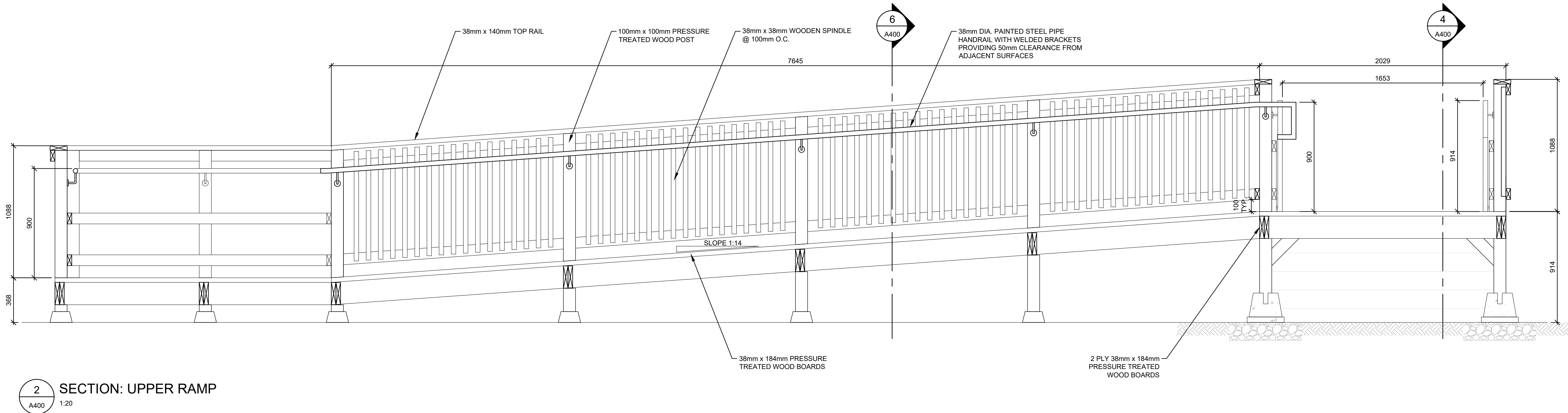
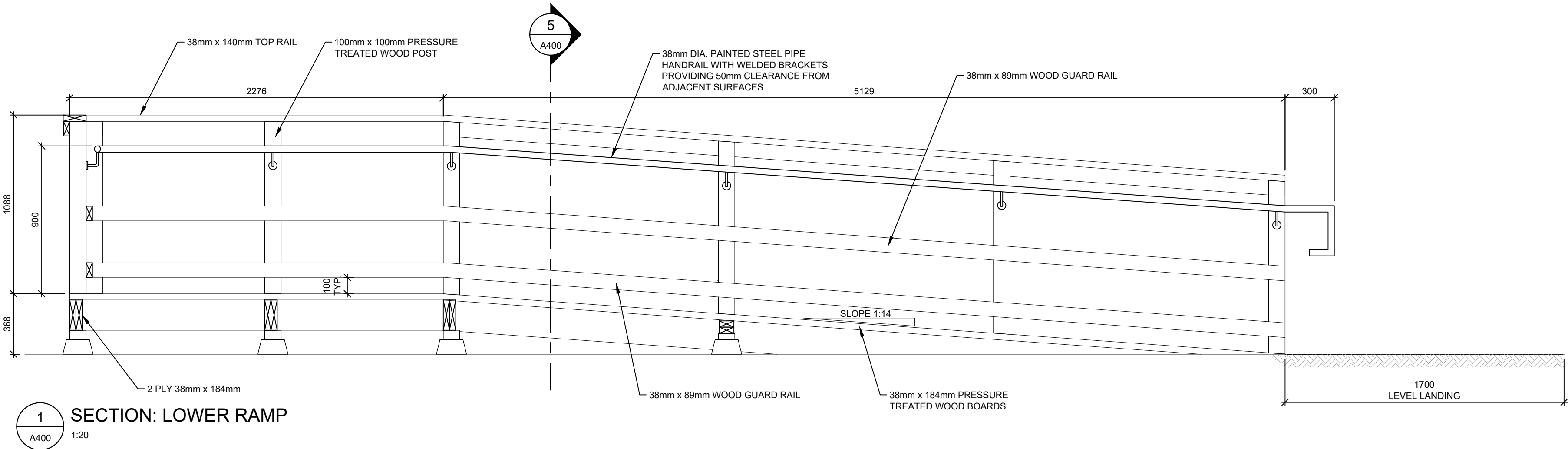
Project Title  
Queen Elizabeth Elementary School  
Stand-Alone Mobile Classroom

Sheet Title  
Wall Sections & Details

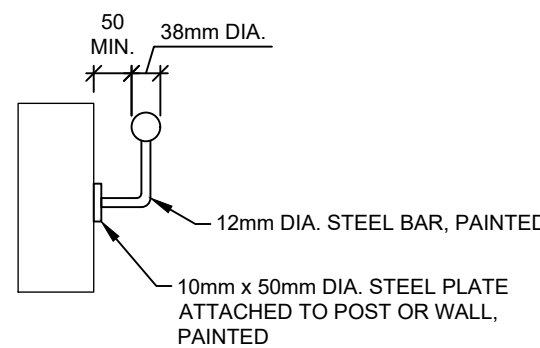
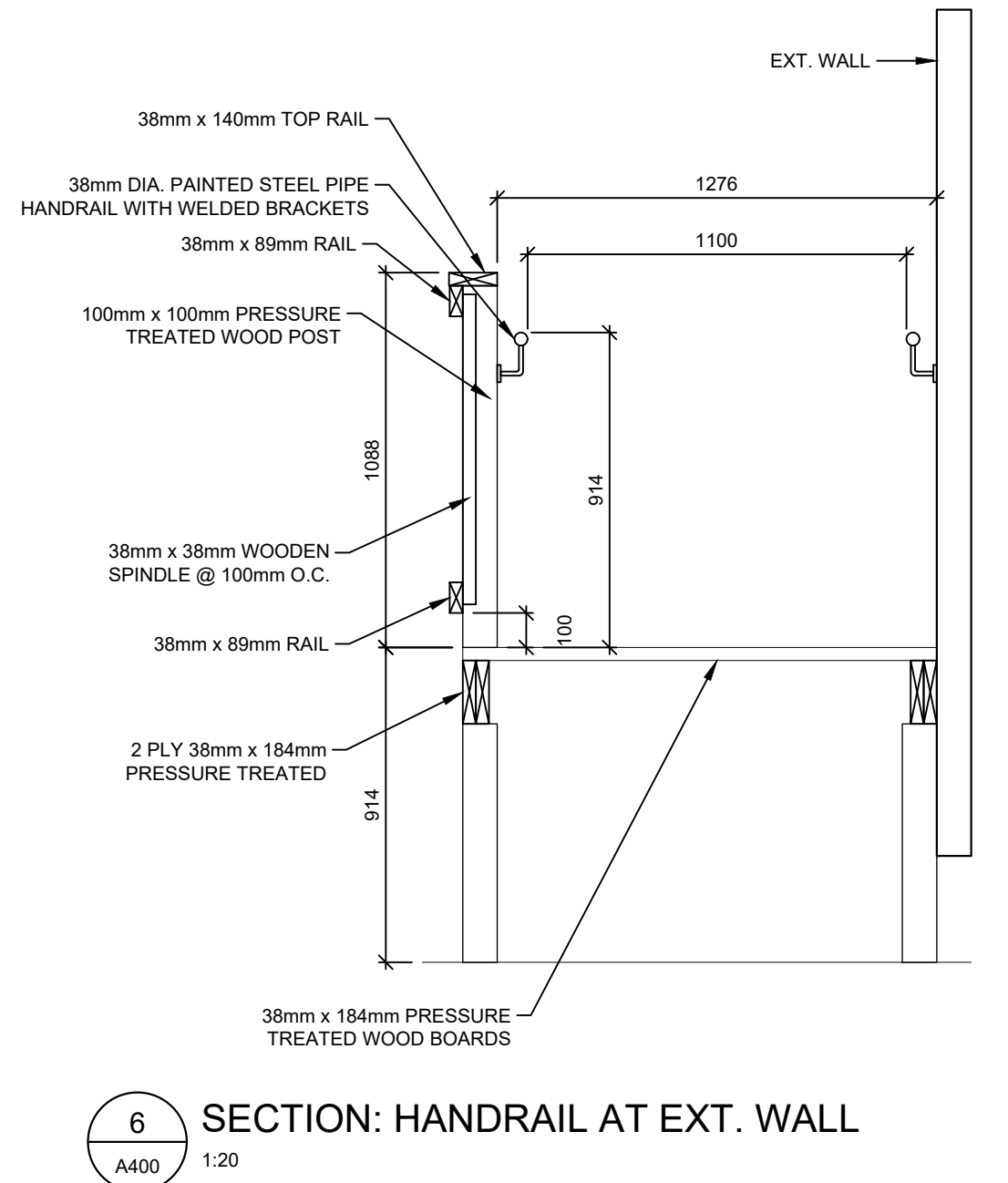
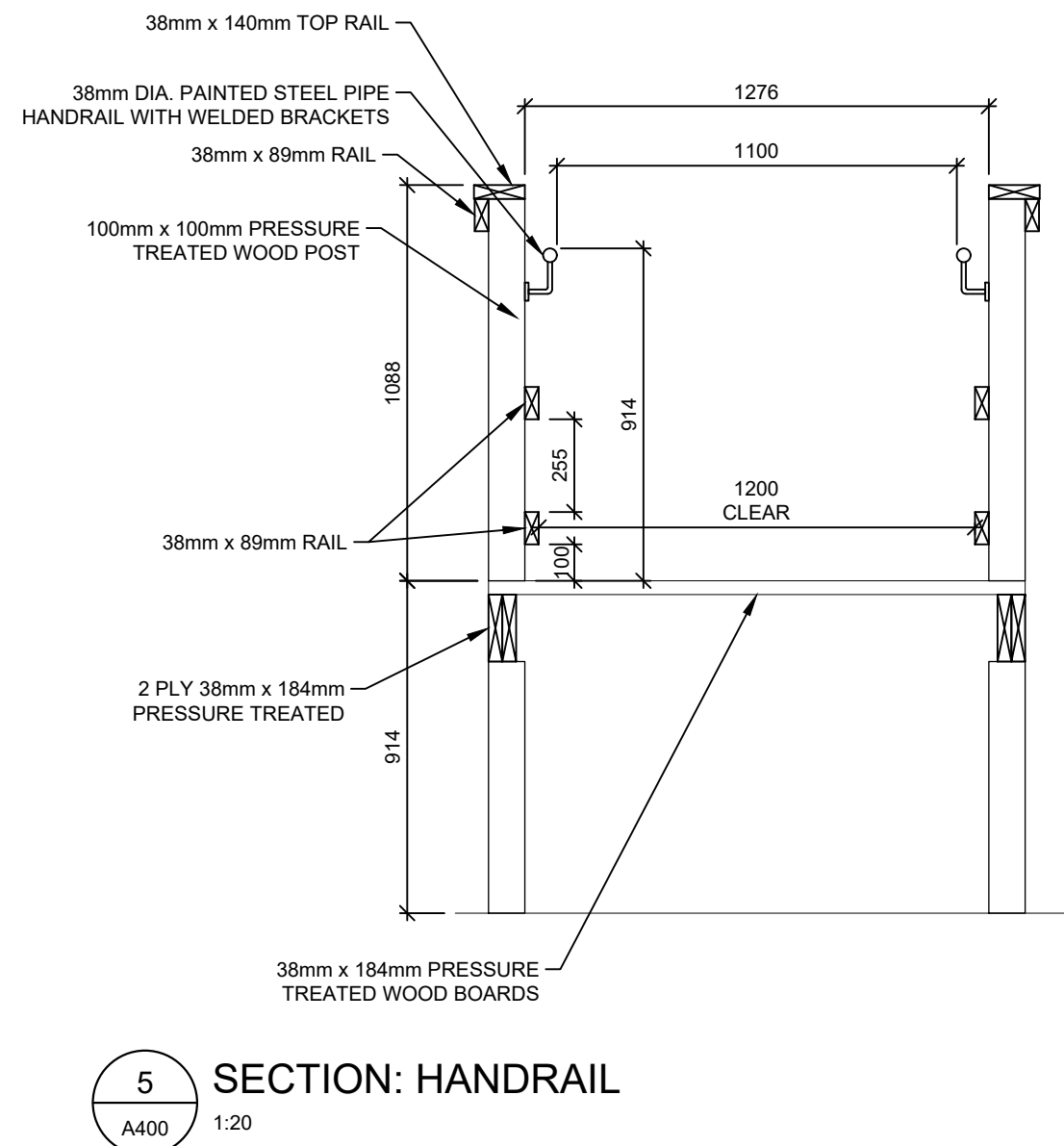
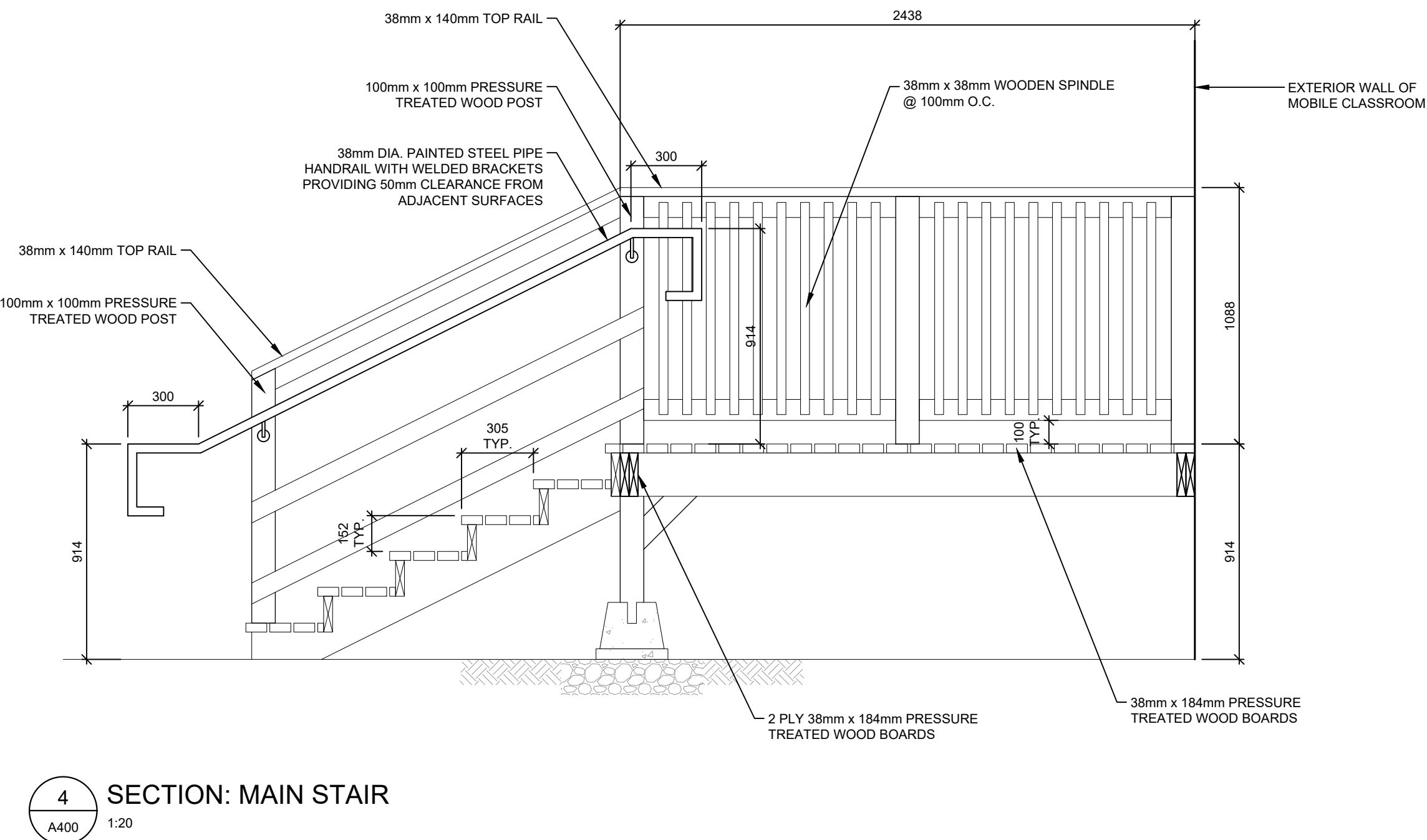
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GENERAL SHEET NOTES

1. STAIR CONSTRUCTION:
- RUN (MIN. NOSING TO NOSING): 280mm
  - RISE: MAX. 180mm, MIN. 125mm
  - GUARDRAIL: IF STAIR LANDING IS MORE THAN 600mm ABOVE GRADE, A GUARDRAIL SHALL BE REQUIRED. GUARD TO BE MIN. 1070mm HIGH ABOVE NOSING OF STAIR TREAD AND LANDING. VERTICAL SPINDLES TO BE MAX. 100mm O.C.
  - HANDRAIL: 914mm HIGH ABOVE NOSING OF STAIR TREAD (BOTH SIDES). EXTEND HANDRAIL MIN. 300mm HORIZONTAL AT BOTTOM AND TOP OF STAIRS. HANDRAIL DIAMETER TO BE MAX. 38mm.
  - SURFACES: TREAD AND LANDING SURFACES SHALL BE SLIP-RESISTANT. LANDINGS SHALL HAVE A 50 ± 10mm SAFETY YELLOW ADHESIVE CONTRAST STRIP AT TOP OF STAIRS (2 LOCATIONS).
2. RAMP CONSTRUCTION:
- SLOPE: MAX. 1:20, MIN. 1:12
  - HORIZONTAL DISTANCE BETWEEN LEVEL LANDINGS: MAX. 9000mm
  - CLEAR WIDTH ON RAMP: MIN. 1200mm. INTERMEDIATE LANDING TO BE MIN. 1200mm x 1200mm. LANDING AT TOP AND BOTTOM OF RAMP TO BE MIN. 1700mm IN LENGTH.
  - GUARDRAIL: IF RAMP OR LANDING SURFACE IS MORE THAN 600mm ABOVE GRADE, A GUARDRAIL SHALL BE REQUIRED. GUARD TO BE MIN. 1070mm HIGH ABOVE RAMP OR LANDING SURFACE. VERTICAL SPINDLES TO BE MAX. 100mm O.C. LOWER EDGE OF GUARDRAIL TO BE MAX. 100mm FROM RAMP OR LANDING SURFACE.
  - HANDRAIL: MIN. 860mm, MAX. 920mm HIGH FROM RAMP SURFACE TO TOP OF RAIL (BOTH SIDES). EXTEND HANDRAIL 300mm HORIZONTAL AT BOTTOM AND TOP OF RAMP. HANDRAIL MAY PROJECT 100mm INTO RAMP CLEARANCE (BOTH SIDES). HANDRAIL DIAMETER TO BE MAX. 38mm.
  - SURFACES: RAMP AND LANDING SURFACES SHALL BE SLIP-RESISTANT. RAMPS AND LANDINGS SHALL HAVE A 50 ± 10mm SAFETY YELLOW ADHESIVE CONTRAST STRIP AT EACH CHANGE IN SLOPE (4 LOCATIONS).



NOTE:  
IF STAIR LANDING IS MORE THAN 600mm  
ABOVE GRADE, A GUARDRAIL SHALL BE  
REQUIRED. GUARD IS TO BE 1070mm HIGH  
WITH VERTICAL SPINDLES AT 100mm O.C. AND  
NO HORIZONTAL MEMBERS BETWEEN 140mm  
AND 900mm ABOVE LANDING. GUARD DOES  
NOT REPLACE HANDRAIL REQUIREMENTS



7 HANDRAIL DETAIL, TYP.  
A400 1:10

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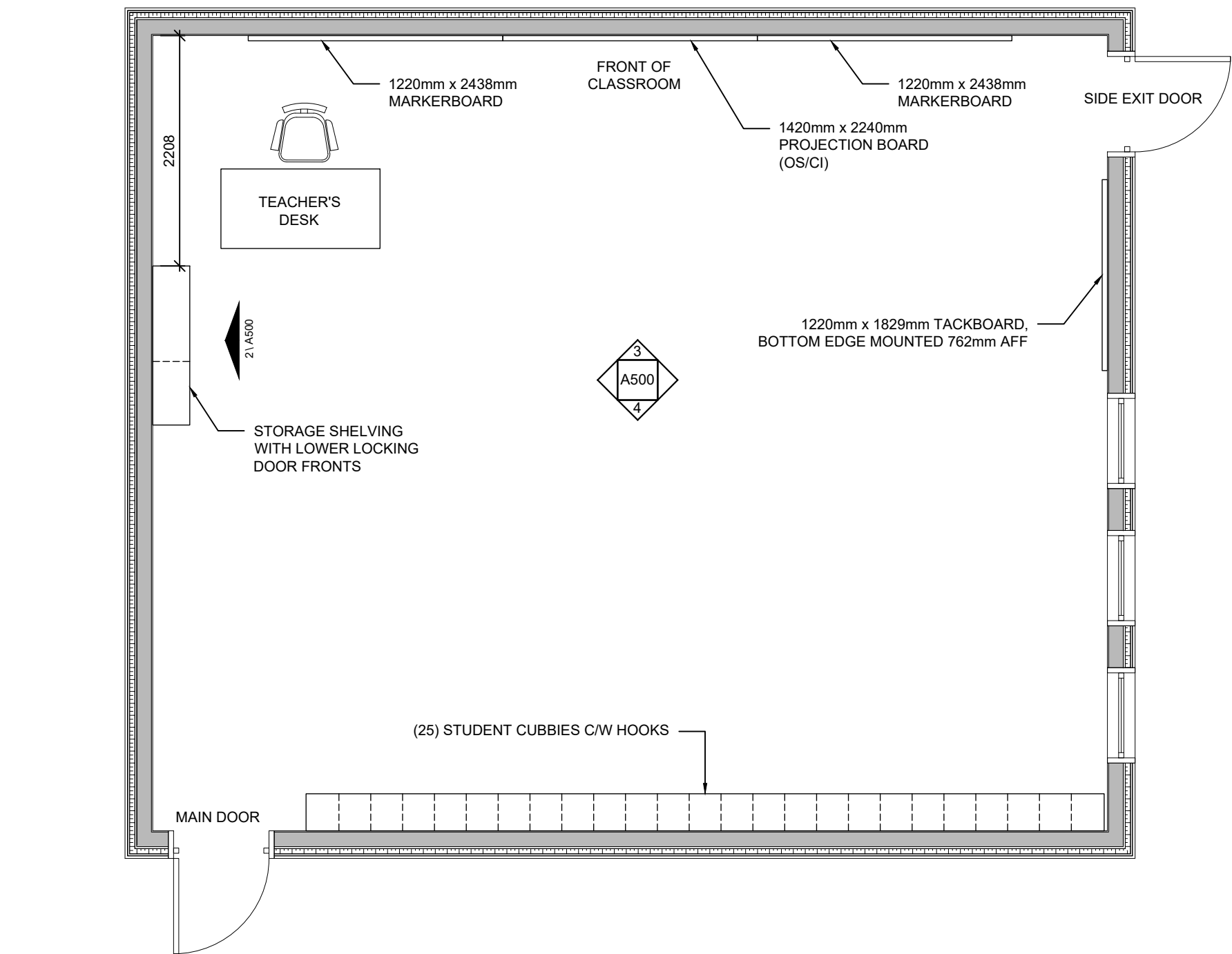
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Project Title  
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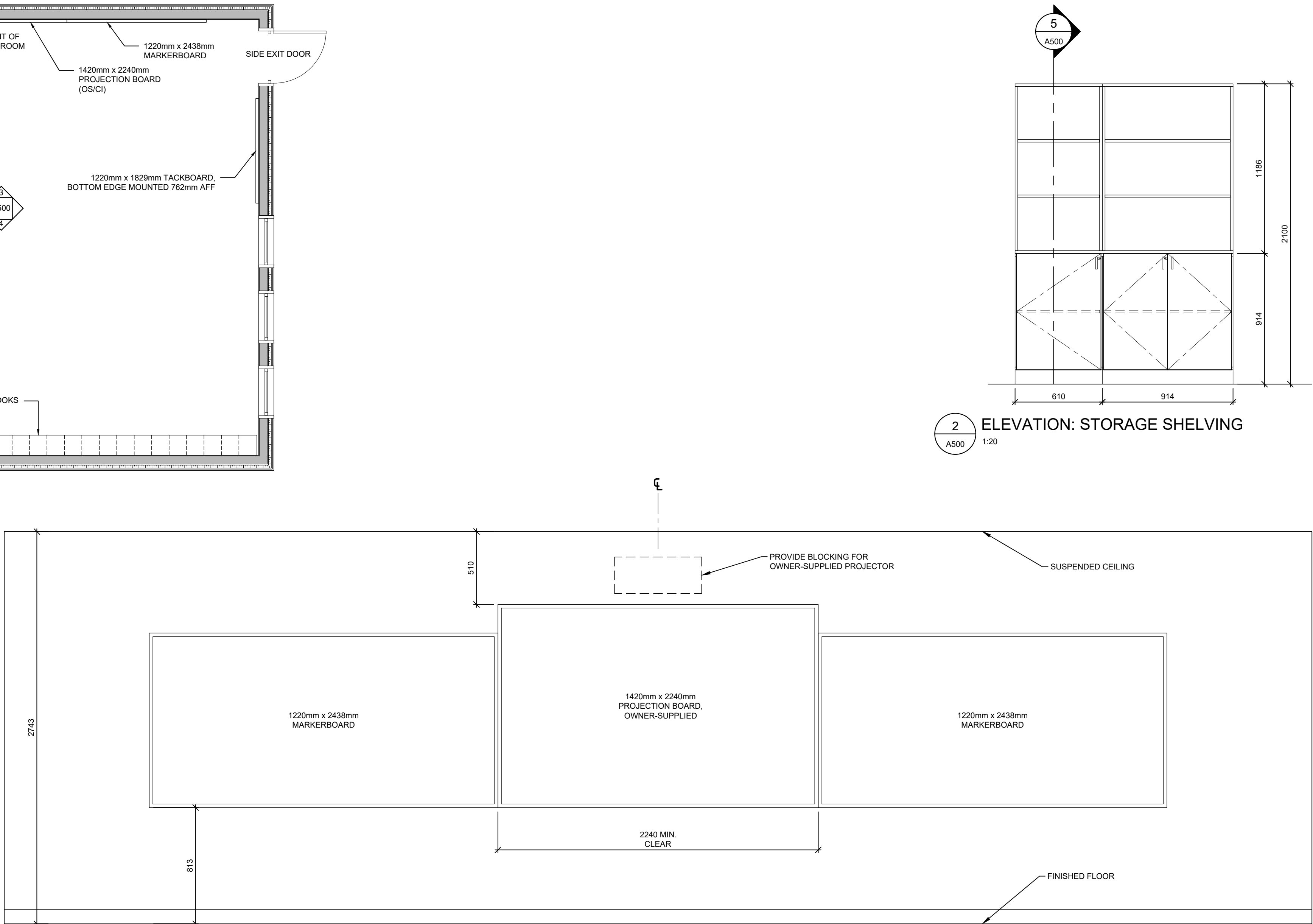
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Ramp, Stair & Handrail Details

| No. | Description       | Date       | Date: 2025-05-22                 | Revision |
|-----|-------------------|------------|----------------------------------|----------|
| 0   | Issued For Tender | 2025-05-22 | Drn By: AB<br>Chk By: DD         | 0        |
|     |                   |            | Project Number:<br><b>251074</b> |          |
|     |                   |            | Drawing Number:<br><b>A400</b>   |          |

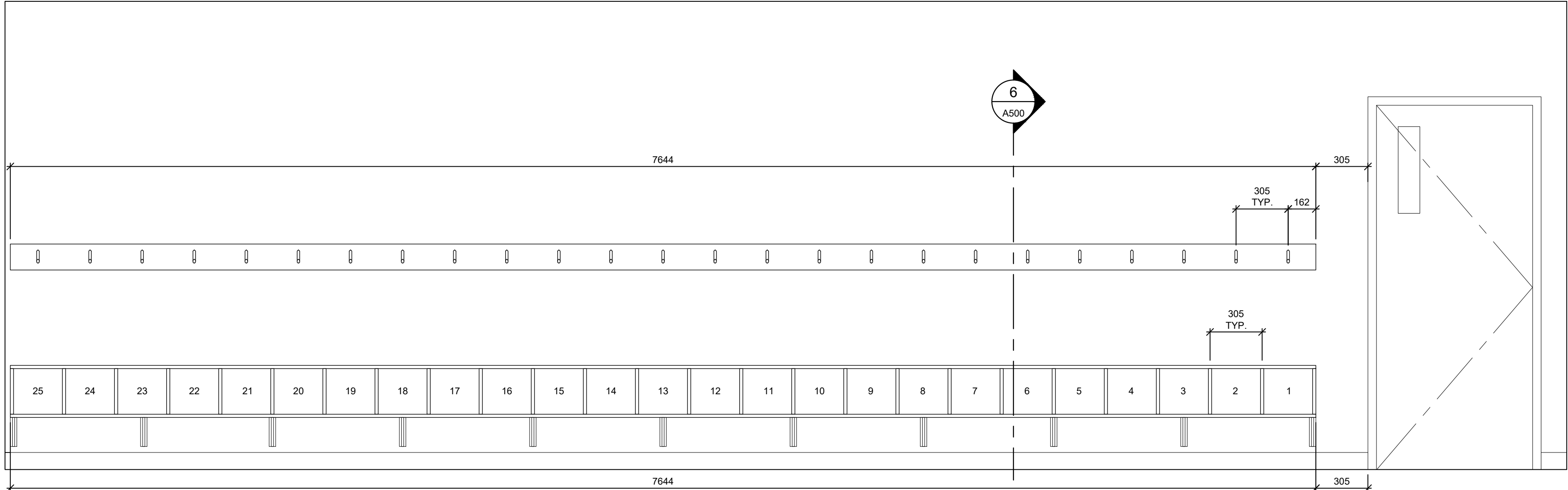




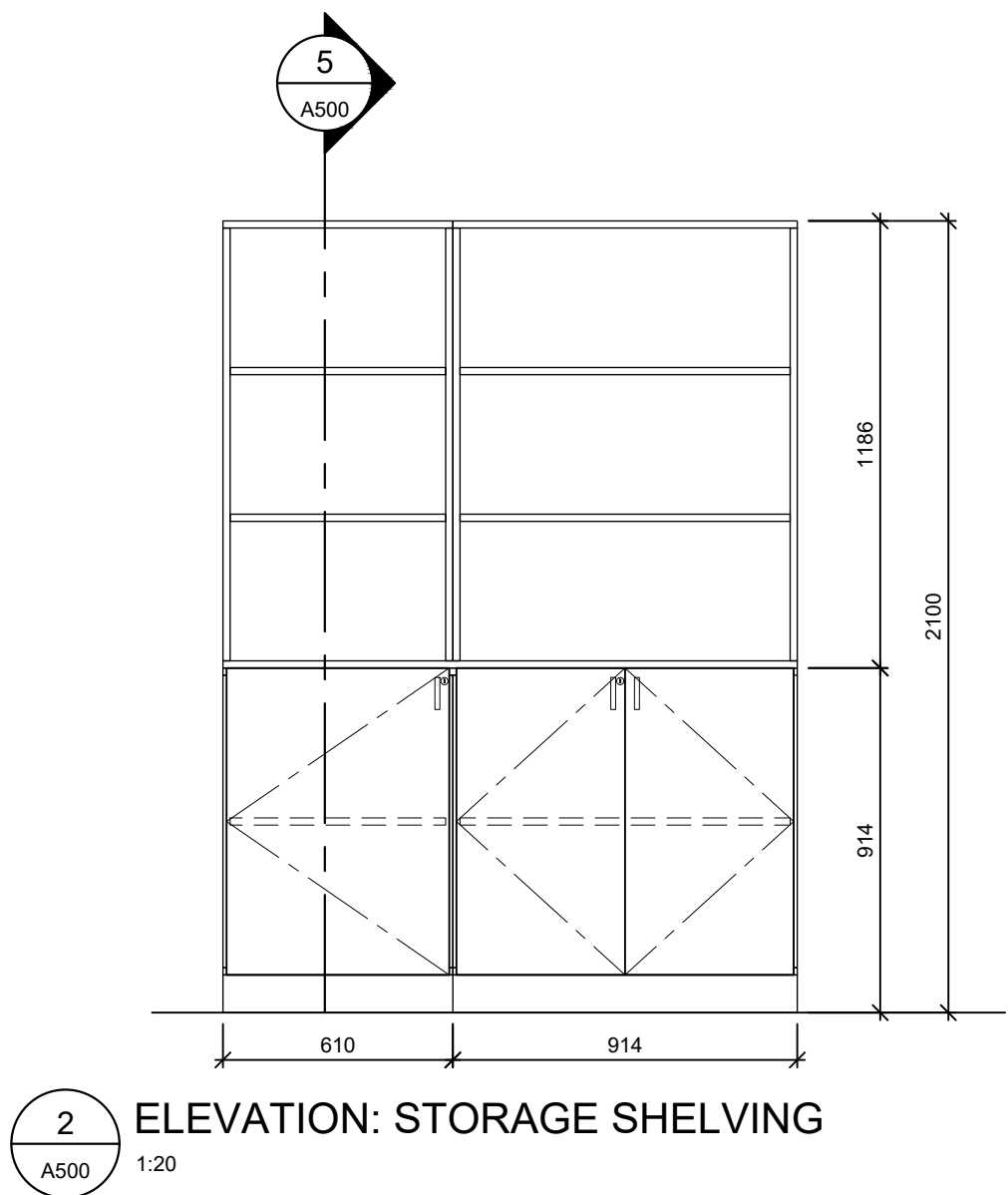
1 FLOOR PLAN (FFE)  
A500 1:50



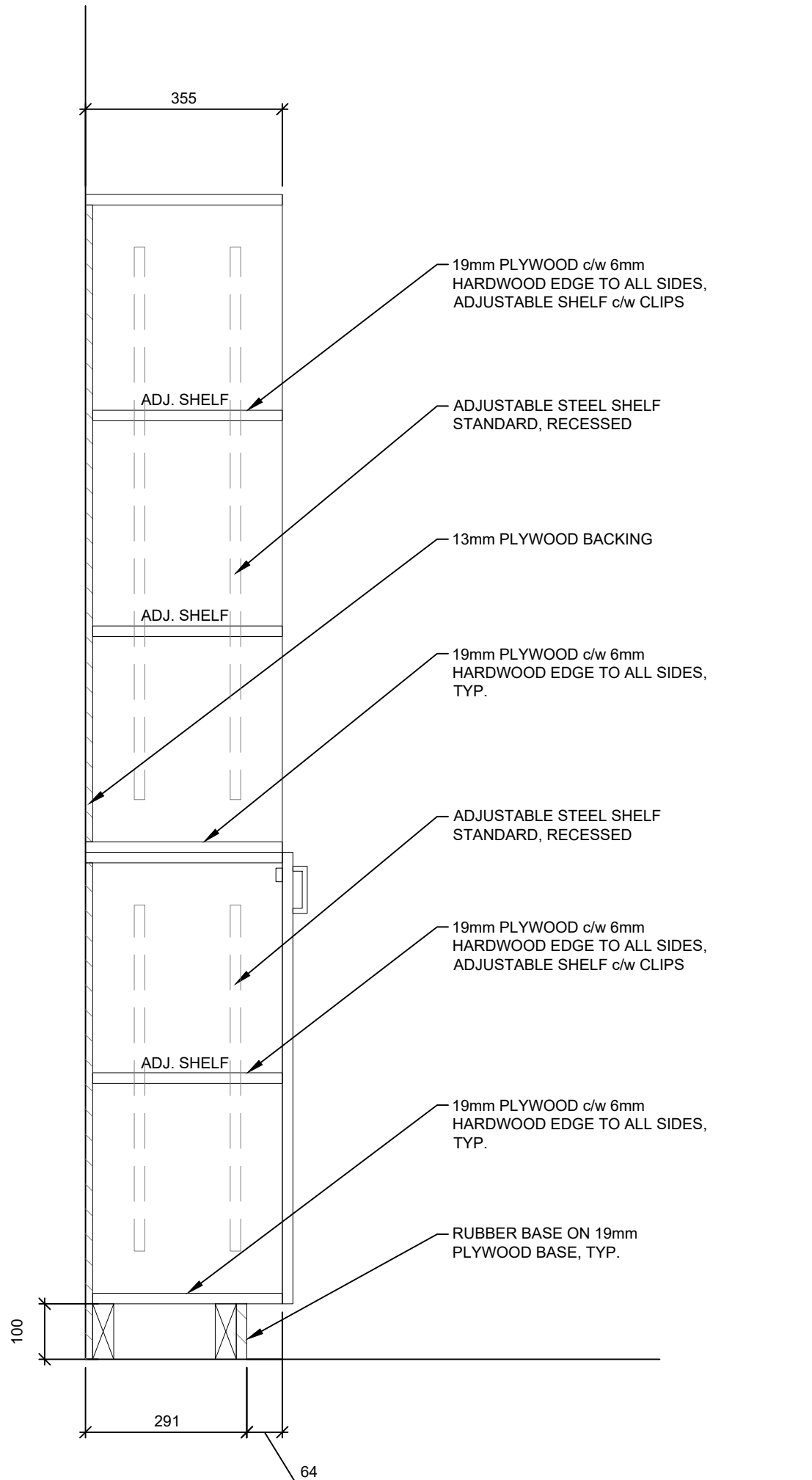
3 ELEVATION: FRONT OF CLASSROOM  
A500 1:20



4 ELEVATION: STUDENT CUBBIES  
A500 1:20

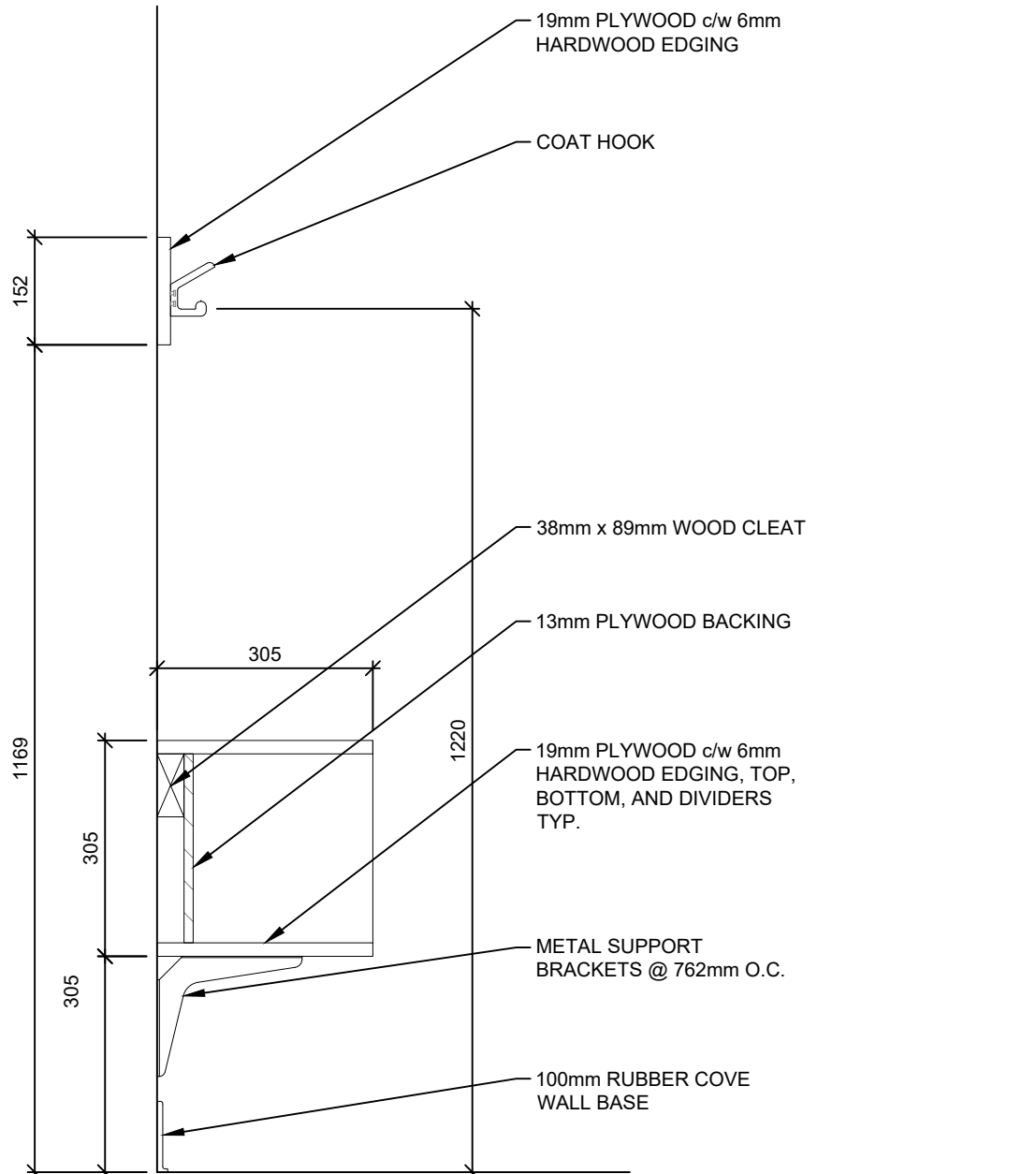


2 ELEVATION: STORAGE SHELVING  
A500 1:20



5 SECTION: STORAGE SHELVING  
A500 1:10

NOTE: INSTALLATION OF WIRING DEVICES TO BE COORDINATED WITH MILLWORK INSTALLER



6 SECTION: STUDENT CUBBIES  
A500 1:10

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Client  
Prince Edward Island Department of  
Transportation and Infrastructure  
PEIG DTI #470-25016

Project Title  
Queen Elizabeth Elementary School  
Stand-Alone Mobile Classroom

Sheet Title  
Interior Elevations and Millwork Details

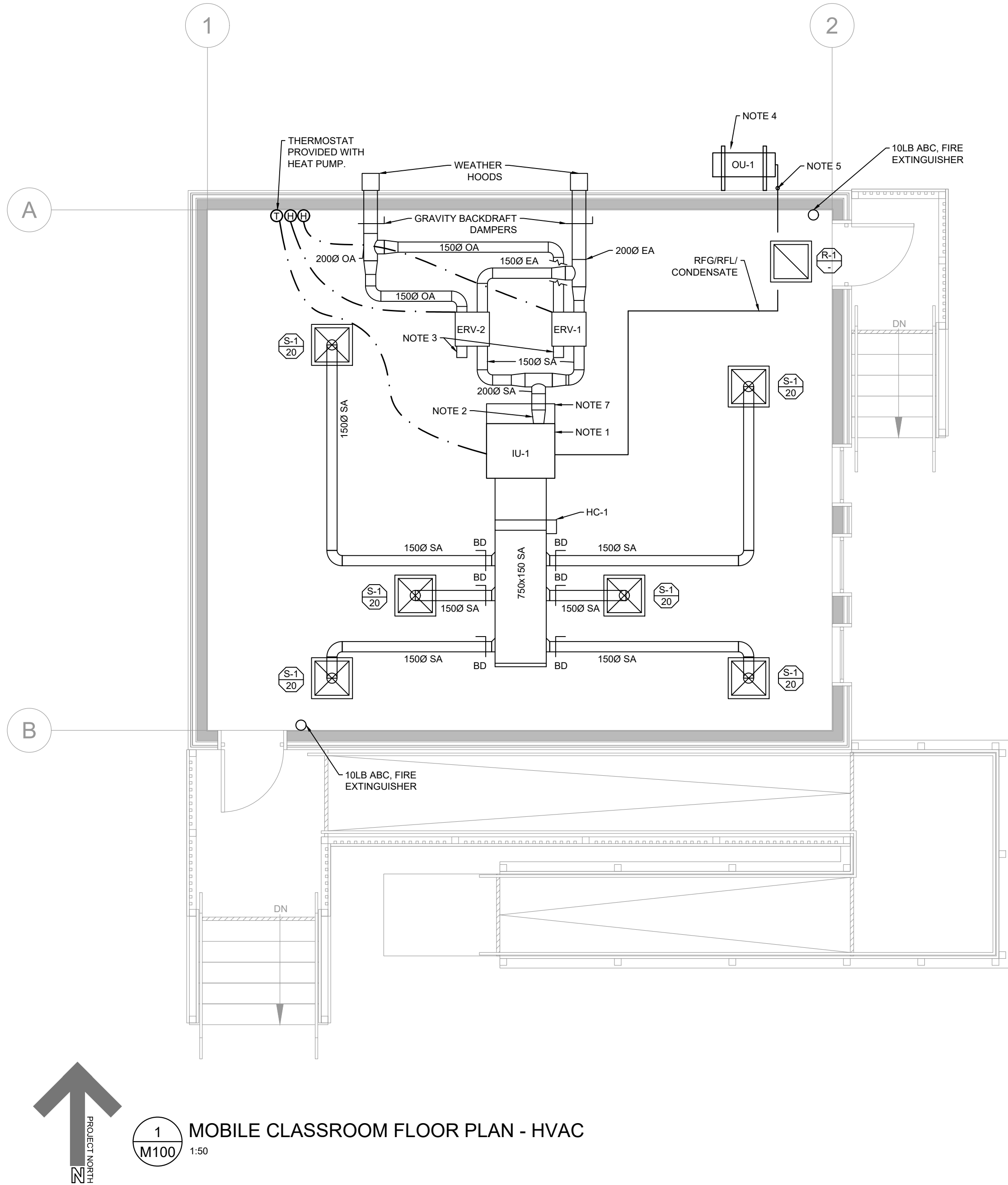
| No. | Description       | Date       | Date: 2025-05-22 | Revision |
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| 0   | Issued For Tender | 2025-05-22 | Drm By: AB       | 0        |
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|     |                   |            | Project Number:  |          |
|     |                   |            | 251074           |          |
|     |                   |            | Drawing Number:  |          |
|     |                   |            | A500             |          |

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|---|--|--|---|---|--|--|--|--|--|
| MECHANICAL SPECIFICATIONS   |  |  |   |   |  |  |  |  |  |
| 1. GENERAL  | 1.1. GENERAL   |  | 1.14. SHOP DRAWINGS   |   | 1.26.3. CONTRACTOR SHALL HAVE SAFE LIFT PROCEDURES IN PLACE WHEN USING A CRANE TO SET EQUIPMENT IN PLACE. CONTRACTOR TO PROVIDE BARRICADES AND PEOPLE TO DIRECT TRAFFIC INSIDE THE BUILDING AROUND LIFT AREA EXTERNAL TO THE BUILDING. |  | SPACE TO THE EXTERIOR WALL, AND PROVIDED WITH A DOWNSPOUT PIPE COMPLETE WITH INSECT SCREEN AT OUTLET. PROVIDE CONCRETE SPLASH PAD TO LIMIT GROUND EROSION NEAR THE DISCHARGE.  |  |  |
|   | 1.1.1. THE FOLLOWING GENERAL CONDITIONS SHALL BE READ IN CONJUNCTION WITH THE GENERAL CONDITIONS AND SPECIAL CONDITIONS ISSUED BY THE PROJECT MANAGER.   |  | 1.14.1. CONTRACTOR TO SUBMIT ELECTRONIC SET OF SHOP DRAWINGS FOR REVIEW. PRIOR TO PROCUREMENT, ALLOW MINIMUM 10 BUSINESS DAYS FOR REVIEW.   |   |  |  | 6. CONTROLS  |  |  |
|   | 1.2. SCOPE OF WORK   |  | 1.15. OPERATION AND MAINTENANCE MANUAL  |   | 2. INSULATION  |  | 6.1. ROOMS WITH SPLIT HEAT PUMP CASSETTES ARE TO USE THE HEAT-PUMP VENDOR SUPPLIED THERMOSTAT TO CONTROL HEATING AND COOLING WITHIN THE ZONE. NEW ELECTRIC DUCT HEATER TO BE CONTROLLED FROM AN EXTERNAL HEAT ADAPTOR CONTROLLED BY THE HEAT PUMP. |  |  |
|   | 1.2.1. THE WORK SHALL INCLUDE THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, PLANT TOOLS AND SERVICES NECESSARY FOR THE INSTALLATION OF THE MECHANICAL SYSTEMS AS INDICATED. THE WORK SHALL INCLUDE THE FOLLOWING: |  | 1.15.1. CONTRACTOR SHALL INSTRUCT THE OWNER IN OPERATION OF MAINTENANCE OF ALL EQUIPMENT AND SYSTEMS INSTALLED. ALL SAFETY AND CONTROL FEATURES SHALL BE THOROUGHLY EXPLAINED. CONTRACTOR TO PROVIDE MAINTENANCE MANUALS FOR ALL EQUIPMENT INSTALLED. THREE (3) COPIES ORGANIZED IN 215.9mm x 279.4mm BINDERS TO BE PROVIDED TOGETHER WITH ALL APPROVED SHOP DRAWINGS AND A SPARE PARTS LIST. |   | 2.1. PIPING  |  | 6.2. HEAT PUMP THERMOSTAT  |  |  |
|   | 1.2.1.1. PLUMBING:   |  | 1.16. RECORD DRAWINGS   |   | 2.1.1. PROVIDE INSULATED LINESET FOR REFRIGERANT WITH CLOSED CELL ELASTOMERIC INSULATION.  |  | 6.2.1. PROGRAMMABLE THERMOSTAT WITH LCD SCREEN AND THE FOLLOWING FUNCTIONS:  |  |  |
|   | 1.2.1.1.1. PROVIDE CONDENSATE DRAIN FROM HEAT PUMPS.   |  | 1.16.1. CONTRACTOR TO PROVIDE AS-BUILT RECORD DRAWINGS.   |   | 2.1.2. PROVIDE 15mm WALL FIBREGLASS INSULATION ON CONDENSATE DRAINAGE LINES WITHIN THE CEILING SPACE.  |  | 6.2.2. TWO-STAGE HEATING CONTROL (HEAT PUMP FIRST STAGE, ELECTRIC RESISTIVE SECOND STAGE)  |  |  |
|   | 1.2.1.2. HEATING:  |  | 1.17. IDENTIFICATION  |   | 2.2. DUCTWORK  |  | 6.2.3. ONE STAGE COOLING   |  |  |
|   | 1.2.1.2.1. PROVIDE ELECTRIC HEATERS AND HEAT PUMPS AS NOTED.   |  | 1.17.1. EQUIPMENT IDENTIFICATION  |   | 2.2.1. SUPPLY DUCTWORK:  |  | 6.2.4. VENTILATION UNIT CONTROL  |  |  |
|   | 1.2.1.3. VENTILATION:  |  | 1.17.1.1. PROVIDE FIELD LAMACOID NAME PLATE (150mm AND 75mm WITH 6mm LETTERS), BLOCK FACE, WHITE LETTERS ON HEAT PUMPS, DUCT HEATERS, AND ERVS. IDENTIFY:   |   | 2.2.1.1. PROVIDE 25mm THICK FIBERGLASS DUCT INSULATION c/w FACTORY APPLIED FOIL SCRIM-KRAFT VAPOUR JACKET.   |  | 6.2.5. 7-DAY SCHEDULER, WITH MINIMUM DAY, NIGHT AND AWAY MODES.  |  |  |
|   | 1.2.1.3.1. PROVIDE ENERGY RECOVERY VENTILATORS, AND DUCTWORK AS PRESENTED.   |  | 1.17.1.1.1. EQUIPMENT NAME AND TAG NUMBER   |   | 2.2.1.2. PROVIDE 25mm ACOUSTIC INSULATION ON MAIN DUCTS  |  | 6.2.6. MULTI SETPOINT CONTROL (I.E. COOLING SETPOINT, AND HEATING SETPOINT)  |  |  |
| 1.2.1.4. CONTROLS:  |  | 1.17.1.1.2. VOLTAGE AND AMPERAGE   |   | 2.2.2. RETURN DUCTWORK:   |  | 6.2.7. FAN-ONLY MODE SCHEDULER                       |  |  |  |
| 1.2.1.4.1. ALL HVAC UNITS SHALL BE CONTROLLED USING THERMOSTATS SUPPLIED BY THE OEM, CAPABLE OF 7-DAY PROGRAMMABLE SCHEDULING.  |  | 1.17.1.1.3. CAPACITY OR SIZE   |   | 2.2.2.1. 25mm ACOUSTIC INSULATION   |  | 6.2.8. STANDARD OF ACCEPTANCE: DAIKIN ONE, OR EQUAL. |  |  |  |
| 1.2.1.5. FIRE PROTECTION:   |  | 1.17.1.1.4. DATE OF INSTALLATION   |   | 2.2.3. OUTDOOR AIR INTAKE DUCTWORK & PLENUM:  |  |  |  |  |  |
| 1.2.1.5.1. PROVIDE TYPICAL 10 LB ABC FIRE EXTINGUISHERS INDICATED BY THE DRAWINGS.  |  | 1.17.2. DUCT IDENTIFICATION  |   | 2.2.3.1. PROVIDE 50mm THICK FIBERGLASS DUCT INSULATION c/w FACTORY APPLIED FOIL SCRIM-KRAFT VAPOR JACKET.   |  |  |  |  |  |
| 1.3. DRAWINGS   |  | 1.17.2.1. ALL SUPPLY, RETURN, EXHAUST AND OUTDOOR AIR DUCTWORK SHALL BE LABELED WITH:  |   | 2.2.4. EXHAUST DUCTWORK DUCTWORK & PLENUM:  |  |  |  |  |  |
| 1.3.1. THE DRAWINGS FOR THE WORK ACCOMPANYING THESE SPECIFICATIONS ARE MADE AS ACCURATELY AS POSSIBLE, BUT ABSOLUTE ACCURACY OF DIMENSIONS CANNOT BE GUARANTEED. THEY ARE INTENDED TO SUPPLEMENT AND SIMPLIFY THE GENERAL CONTRACT DRAWINGS. NO CLAIM FOR EXTRA PAYMENT ON ACCOUNT OF DIFFERENCE OF ACTUAL AND ESTIMATED DIMENSIONS SHALL BE ALLOWED. IN THE CASE OF DISCREPANCY OF FIGURE DIMENSIONS ON THE DRAWINGS, THE MATTER SHALL BE IMMEDIATELY SUBMITTED TO THE ENGINEER FOR THEIR DECISION. WITHOUT THE DECISION, THE DISCREPANCY SHALL NOT BE ADJUSTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER. |  | 1.17.2.1.1. 50mm HIGH BLACK STENCILED LETTERS  |   | 2.2.4.1. PROVIDE 50mm THICK FIBERGLASS DUCT INSULATION c/w FACTORY APPLIED FOIL SCRIM-KRAFT VAPOR JACKET.   |  |  |  |  |  |
| 1.3.1.1. MADE AS ACCURATELY AS POSSIBLE, BUT ABSOLUTE ACCURACY OF DIMENSIONS CANNOT BE GUARANTEED. THEY ARE INTENDED TO SUPPLEMENT AND SIMPLIFY THE GENERAL CONTRACT DRAWINGS. NO CLAIM FOR EXTRA PAYMENT ON ACCOUNT OF DIFFERENCE OF ACTUAL AND ESTIMATED DIMENSIONS SHALL BE ALLOWED. IN THE CASE OF DISCREPANCY OF FIGURE DIMENSIONS ON THE DRAWINGS, THE MATTER SHALL BE IMMEDIATELY SUBMITTED TO THE ENGINEER FOR THEIR DECISION. WITHOUT THE DECISION, THE DISCREPANCY SHALL NOT BE ADJUSTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.   |  | 1.17.2.1.2. DIRECTION OF AIRFLOW   |   | 2.2.5. INSTALL DUCT INSULATION WITH WELD PINS AND CLIPS. SEAL ALL JOINTS AND PENETRATIONS WITH FOIL TAPE. INSULATE AFTER DUCTWORK HAS BEEN SEALED AND INSPECTED. ALL DUCT HANGERS AND ANGLE IRON SUPPORTS SHALL BE LOCATED OUTSIDE OF DUCT INSULATION.                      |  |  |  |  |  |
| 1.3.1.2. IN THE CASE OF DISCREPANCY OF FIGURE DIMENSIONS ON THE DRAWINGS, THE MATTER SHALL BE IMMEDIATELY SUBMITTED TO THE ENGINEER FOR THEIR DECISION. WITHOUT THE DECISION, THE DISCREPANCY SHALL NOT BE ADJUSTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.  |  | 1.17.2.1.3. SERVICE TYPE   |   | 3. PLUMBING   |  |  |  |  |  |
| 1.3.1.3. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.  |  | 1.17.3. PIPING IDENTIFICATION  |   | 3.1. GENERAL  |  |  |  |  |  |
| 1.3.1.4. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.  |  | 1.17.3.1. IDENTIFY ALL PIPING SYSTEMS (REFRIGERANT LINES, CONDENSATE DRAINS) USING MARKED OR STENCILED LABELS, IDENTIFY:   |   | 3.1.1. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH NBC, CPC, AND AUTHORITIES HAVING JURISDICTION.   |  |  |  |  |  |
| 1.3.1.5. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.  |  | 1.17.3.1.1. CONTENTS (CONDENSATE, REFRIGERANT LIQUID, ETC.).   |   | 3.2. PIPING   |  |  |  |  |  |
| 1.4. EXTRA WORK   |  | 1.17.3.1.2. FLOW DIRECTION   |   | 3.2.1. CONDENSATE DRAINLINE INSIDE OF THE BUILDING TO BE TYPE L COPPER.   |  |  |  |  |  |
| 1.4.1. NO ADDITIONAL MONEY OVER CONTRACT PRICE SHALL BE PAID UNLESS CONTRACTOR RECEIVES A SIGNED APPROVAL IN ACCORDANCE WITH THE GENERAL CONDITIONS. NO ADDITIONAL MONEY SHALL BE PAID FOR USE OF EQUAL PRODUCTS.   |  | 1.17.3.1.3. TEMPERATURE AND PRESSURE WHERE APPLICABLE  |   | 3.2.2. CONDENSATE DRAINLINE OUTSIDE OF THE BUILDING MAY BE PEX.   |  |  |  |  |  |
| 1.4.1.1. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.  |  | 1.17.3.2. USE COLOUR CODED IDENTIFICATION PER ANSI/ASME A13.1  |   | 4. VENTILATION  |  |  |  |  |  |
| 1.4.1.2. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.  |  | 1.18. STANDARDS OF ACCEPTANCE  |   | 4.1. GENERAL  |  |  |  |  |  |
| 1.4.1.3. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.  |  | 1.18.1. ALL EQUIPMENT MANUFACTURERS LISTED FORM THE STANDARD OF ACCEPTANCE FOR THE EQUIPMENT REQUIRED. ALTERNATE EQUIPMENT MAY BE SUBSTITUTED ONLY AFTER RECEIVING APPROVED EQUAL STATUS FROM ENGINEER DURING TENDER PROCESS ONLY. PROVIDE SHOP DRAWINGS ON ALL MAJOR EQUIPMENT PRIOR TO ORDERING ANY EQUIPMENT. IF ALTERNATE EQUIPMENT IS APPROVED BY ENGINEER ALL COSTS ASSOCIATED WITH ANY REQUIRED MODIFICATIONS, CHANGES, ETC TO USE THE ALTERNATE EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. |   | 4.1.1. ALL DUCTWORK AND HANGERS SHALL BE CONSTRUCTED FROM LOCK FORMING QUALITY STEEL WITH G90 DESIGNATION ZINC COATING TO ASTM A525 M80 TO SMACNA STANDARDS BASED ON 50mm SP. IN DUCTS. DUCTWORK TO BE SEALED TO SMACNA CLASS "C" STANDARDS.                                |  |  |  |  |  |
| 1.4.1.4. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.  |  | 1.19. CLEANING AND FINAL ADJUSTMENT  |   | 4.1.2. CONTRACTOR RESPONSIBLE FOR ALL DUCT TRANSITIONS TO/FROM MECHANICAL EQUIPMENT, DIFFUSERS, GRILLES, CROSSOVERS, AROUND OBSTRUCTIONS, ETC., AS REQUIRED. PROVIDE FLEX CONNECTIONS TO ALL AIR HANDLING EQUIPMENT. MAXIMUM OF 1500mm FLEX. DUCT ON BRANCHES TO DIFFUSERS. |  |  |  |  |  |
| 1.4.1.5. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.  |  | 1.19.1. CLEAN INTERIOR AND EXTERIOR OF ALL SYSTEMS INCLUDING STRAINERS AND AIR HANDLING UNITS.   |   | 4.1.3. FABRICATE HANGERS AND SUPPORTS IN ACCORDANCE WITH SMACNA CONSTRUCTION STANDARDS. HANGER SPACING SHALL BE AS THE FOLLOWING SCHEDULE:  |  |  |  |  |  |
| 1.4.1.6. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.  |  | 1.19.2. CLEAN AND REFURBISH ALL EQUIPMENT AND LEAVE IN FIRST CLASS OPERATING CONDITION INCLUDING REPLACEMENT OF ALL FILTERS IN ALL AIR AND PIPING SYSTEMS.   |   |   |  |  |  |  |  |
| 1.4.1.7. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.  |  | 1.19.3. BALANCE AND ADJUST ALL SYSTEMS AND EACH PIECE OF EQUIPMENT TO OPERATE EFFICIENTLY.   |   |   |  |  |  |  |  |
| 1.5. QUALIFICATIONS   |  | 1.20. CUTTING AND PATCHING   |   |   |  |  |  |  |  |
| 1.5.1. WORK SHALL BE COMPLETED BY A LICENSED CONTRACTOR CERTIFIED FOR THE INSTALLATION OF SYSTEMS AND EQUIPMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL CODES AND REGULATIONS.   |  | 1.20.1. ALL CUTTING AND PATCHING WILL BE THE RESPONSIBILITY OF THIS CONTRACTOR.  |   |   |  |  |  |  |  |
| 1.6. WARRANTY   |  | 1.21. SLEEVES  |   |   |  |  |  |  |  |
| 1.6.1. ALL EQUIPMENT, MATERIAL AND LABOUR PROVIDED BY THE CONTRACTOR SHALL BE GUARANTEED TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTED SUBSTANTIAL COMPLETION. CONTRACTOR SHALL REPAIR OR REPLACE ANY EQUIPMENT OR MATERIAL WHICH IS DEFECTIVE OR IMPROPERLY INSTALLED. IN ADDITION, THIS CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE TO THE BUILDINGS AND ITS CONTENTS OR OTHER EQUIPMENT, CAUSED BY DEFECTS OR IMPROPER INSTALLATION OF EQUIPMENT.  |  | 1.21.1. THE CONTRACTOR IS TO SUPPLY AND SET IN PLACE PIPE AND/OR DUCT SLEEVES IN FLOOR, ROOF OR FIRE WALLS.  |   |   |  |  |  |  |  |
| 1.7. COOPERATION WITH OTHER TRADES  |  | 1.22. EXCAVATION AND BACKFILLING   |   |   |  |  |  |  |  |
| 1.7.1. CONTRACTOR MUST COORDINATE CLOSELY WITH ALL OTHER TRADES AND WITH EXISTING SERVICES AS CEILING SPACE WILL BE LIMITED IN SOME PLACES. WORK IS TO BE EXECUTED IN A MANNER SO AS TO CAUSE MINIMUM DISRUPTION. ALL SERVICE INTERRUPTIONS SHALL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS. THIS CONTRACTOR SHALL INCLUDE ALL COSTS FOR OVERTIME WORK INVOLVED WITH THE CONSTRUCTION.  |  | 1.22.1. ALL EXCAVATION AND BACKFILLING WILL BE THE RESPONSIBILITY OF THIS CONTRACTOR.  |   |   |  |  |  |  |  |
| 1.8. EXAMINATION OF SITE  |  | 1.23. FIRESTOPPING AND SMOKE SEALS   |   |   |  |  |  |  |  |
| 1.8.1. BEFORE TENDERING, EXAMINE THE SITE AND THE LOCAL CONDITIONS AFFECTING THE WORK OF THIS CONTRACT. NO ALLOWANCE WILL BE MADE FOR ANY EXPENSE INCURRED THROUGH FAILURE TO MAKE THIS EXAMINATION.  |  | 1.23.1. ALL FIRESTOPPING AND SMOKE SEALS REQUIRED TO PROPERLY ACCOMMODATE THE WORK OF THIS DIVISION SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR.  |   |   |  |  |  |  |  |
| 1.9. PERMITS, FEES AND CERTIFICATES   |  | 1.23.2. WHERE COMBUSTIBLE PIPES PASS THROUGH FIRE RATED WALLS, FLOORS AND PARTITIONS, A RATED FIRE STOP DEVICE SHALL BE USED TO MEET CODE IN ACCORDANCE WITH CAN4-S115.  |   |   |  |  |  |  |  |
| 1.9.1. APPLY FOR, OBTAIN, AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED.   |  | 1.23.3. WHERE NON-COMBUSTIBLE PIPES PASS THROUGH FIRE SEPARATIONS, INTUMESCENT CAULKING SHALL BE USED TO FILL VOIDS BETWEEN PIPE AND WALL ON BOTH SIDES.   |   |   |  |  |  |  |  |
| 1.9.2. ANY ADDITIONAL MATERIALS OR LABOUR REQUIRED TO CONFORM TO ANY OF THE REGULATIONS OR REQUIREMENTS OF AHJ SHALL BE FURNISHED UNDER THE CONTRACT WITH NO ADDITIONAL COST TO THE OWNER.  |  | 1.23.4. STANDARD OF ACCEPTANCE: HILTI, DOW CORNING, 3M, OR EQUAL.  |   |   |  |  |  |  |  |
| 1.10. CLEAN UP AND REMOVALS   |  | 1.24. PROTECTION OF OPENINGS   |   |   |  |  |  |  |  |
| 1.10.1. THE CONTRACTORS SHALL, AT ALL TIMES, KEEP THE SITE NEAT, CLEAN AND FREE FROM ACCUMULATION OF WASTE, MATERIALS AND RUBBISH WHICH ARISE OUT OF THEIR WORK. ALL MATERIAL DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF OFF SITE BY THIS CONTRACTOR.  |  | 1.24.1. PROTECT EQUIPMENT, SYSTEM OPENINGS INCLUDING ROUGH-IN PLUMBING FROM DIRT, DUST AND OTHER FOREIGN MATERIALS WITH MATERIALS COMPATIBLE TO THE SYSTEM.  |   |   |  |  |  |  |  |
| 1.11. INSTALLATION AND COMMISSIONING OF EQUIPMENT   |  | 1.25. ACCESS DOORS   |   |   |  |  |  |  |  |
| 1.11.1. MANUFACTURER'S INSTRUCTIONS SHALL BE MADE AVAILABLE TO BOTH THE INSTALLING TRADESMEN AND THE ON-SITE INSPECTOR PRIOR TO INSTALLATION OF EQUIPMENT. THESE INSTRUCTIONS ARE TO BE READ, UNDERSTOOD AND CLOSELY FOLLOWED. FAILURE TO ABIDE BY THIS REQUIREMENT WILL PROVIDE JUSTIFICATION FOR THE ENGINEER TO REQUIRE REMOVAL AND RE-INSTALLATION.   |  | 1.25.1. THIS CONTRACTOR TO PROVIDE ACCESS DOORS FOR FURRED CEILINGS OR SPACES FOR SERVICING EQUIPMENT AND ACCESSORIES OR FOR INSPECTION OF SAFETY, OPERATING OR FIRE DEVICES FOR INSTALLATION UNDER CONTRACT ERECTING THE WALLS OR CEILINGS. SUPPLY ULC RATED DOORS IN FIRE RATED CONSTRUCTION.  |   |   |  |  |  |  |  |
| 1.11.2. ENSURE THAT ALL SAFETY DEVICES AND OTHER SIGNIFICANT ACCESSORIES ARE IN PLACE AND OPERABLE BEFORE STARTING MAJOR PIECES OF EQUIPMENT. AS PART OF THE COMMISSIONING PROCESS ACCESSORIES ARE TO BE CHECKED, CALIBRATED AND ADJUSTED AS NECESSARY TO ENSURE SAFE OPERATION.  |  | 1.25.2. ACCESS DOORS SHALL BE FLUSH MOUNTED 600mm x 600mm FOR BODY ENTRY, 300mm x 300mm FOR HAND ENTRY, OR AS NOTED ON THE DRAWINGS. DOORS SHALL OPEN 180°. HAVE ROUNDED SAFETY CORNERS, CONCEALED HINGES, CYLINDER KEY LOCKS, AND ANCHOR STRAPS. STEEL SHALL BE PRIME COATED. DOORS SHALL BE OF APPROVED MANUFACTURER WITH PUBLISHED LITERATURE.  |   |   |  |  |  |  |  |
| 1.11.3. FOLLOW MANUFACTURER'S INSTRUCTIONS IN DETAIL IN ESTABLISHING COMMISSIONING PROCEDURE.   |  | 1.25.3. PROVIDE CAM TYPE LOCKING DEVICE WITH CYLINDER KEY LOCK COMPLETE WITH MASTER KEYS.  |   |   |  |  |  |  |  |
| 1.12. DEMONSTRATION OF COMPLETE SYSTEMS   |  | 1.25.4. STANDARD OF ACCEPTANCE: MIFAB #UA, WILLIAMS BROTHERS #WB SERIES, OR APPROVED EQUAL.  |   |   |  |  |  |  |  |
| 1.12.1. AT THE CONCLUSION OF THE JOB, THE CONTRACTOR SHALL REVIEW AND DEMONSTRATE TO THE OWNER ALL EQUIPMENT AND THEIR RESPECTIVE FUNCTIONS AND OPERATION. SUCH DEMONSTRATION SHALL BE PROVIDED FOR SUCH REASONABLE PERIODS OF TIME AS THE COMPLEXITY OF THE JOB WARRANTS, AND AS APPROVED BY THE ENGINEER. SUCH REVIEW AND DEMONSTRATION SHALL BE MADE BY AN AUTHORIZED REPRESENTATIVE OF THE CONTRACTOR, FULLY KNOWLEDGEABLE OF THE PROJECT, ITS INSTALLATION AND OPERATION.  |  | 1.26. SAFETY   |   |   |  |  |  |  |  |
| 1.12.2. PROVIDE THE ENGINEER WITH A SCHEDULE OF SYSTEM DEMONSTRATION AT LEAST TWO (2) WEEKS PRIOR TO DEMONSTRATION.   |  | 1.26.1. CONTRACTOR SHALL WORK UNDER THE REQUIREMENTS OF THE GENERAL CONTRACTORS SITE SAFETY PLAN. CONTRACTOR IS TO COMPLY WITH ALL REQUIREMENTS OF THE PROVINCIAL OCCUPATIONAL HEALTH AND SAFETY ACT, REGULATION AND WORKERS COMPENSATION BOARD. CONTRACTOR SHALL REVIEW ANY SITE SPECIFIC SAFETY REQUIREMENTS WITH OWNER AND ATTEND TRAINING AS REQUIRED PRIOR MOBILIZATION TO SITE.  |   |   |  |  |  |  |  |
| 1.13. FINAL INSPECTION  |  | 1.26.2. CONTRACTOR SHALL PROVIDE A LOCK-OUT/TAG-OUT PROCEDURE THAT GUARANTEE ISOLATION OF EQUIPMENT PRIOR TO STARTING WORK.  |   |   |  |  |  |  |  |
| 1.13.1. PRIOR TO SUBSTANTIAL COMPLETION AND FINAL INSPECTION OF THE PROJECT, CONTRACTOR WILL INSPECT THE PROJECT, PROVIDE A MECHANICAL DEFICIENCY LIST, PROVIDE CONFIRMATION THAT ALL ITEMS ON THE LIST HAVE BEEN CORRECTED, PROVIDE THE OPERATION AND MAINTENANCE MANUALS, PROVIDE THE RECORD DRAWINGS, BALANCING REPORTS AND PROVIDE THE DEMONSTRATION OF THE COMPLETED MECHANICAL SYSTEMS.   |  |  |   |   |  |  |  |  |  |
| 1.13.2. ALL OF THE ABOVE MUST BE COMPLETED PRIOR TO THE FINAL INSPECTION BY THE ENGINEER AND SUBSTANTIAL COMPLETION OF THE MECHANICAL SYSTEMS.  |  |  |   |   |  |  |  |  |  |
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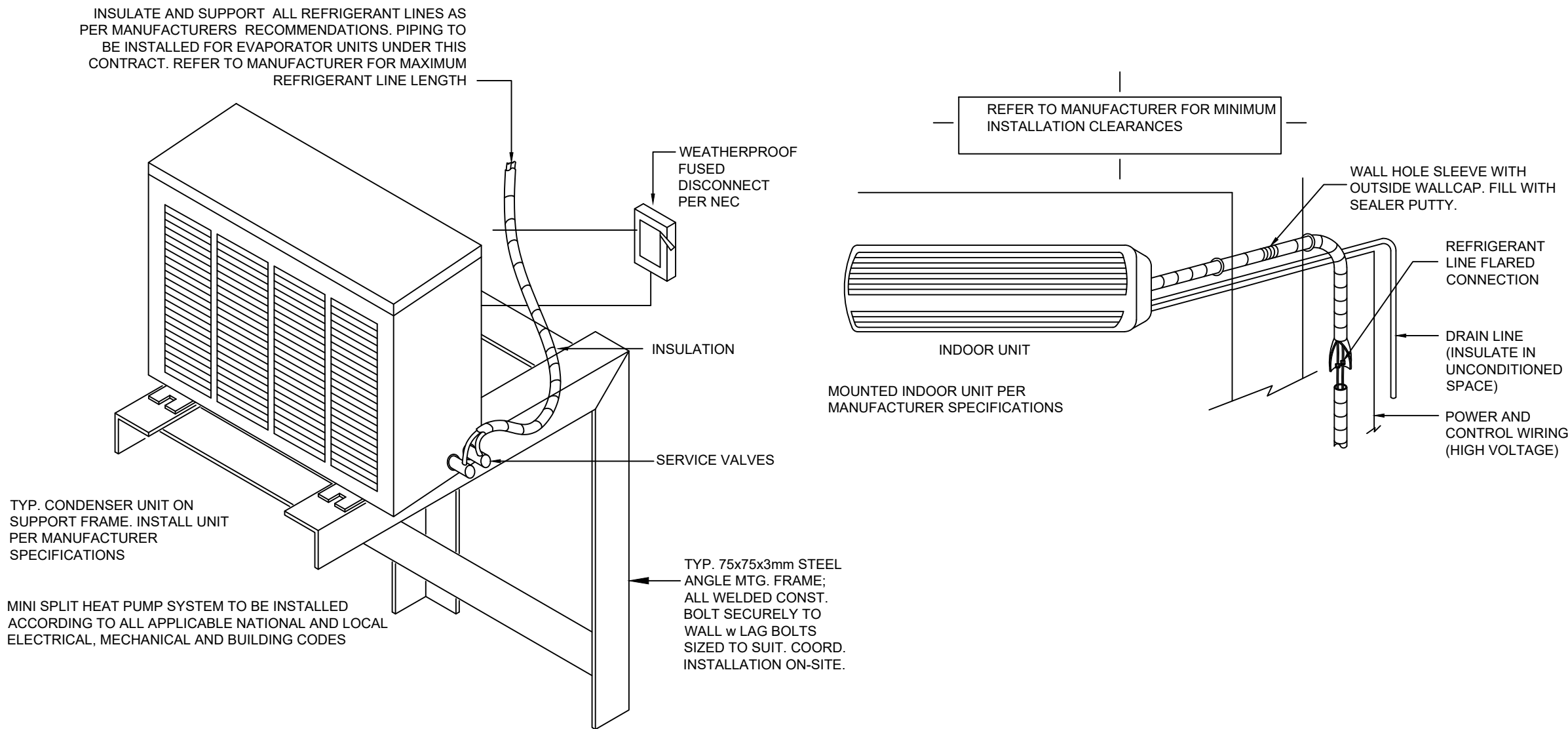
HEATING AND VENTILATION NOTES:

1. IU-1 LOCATED ABOVE T-BAR CEILING, COORD WITH GC AND OTHER TRADES FOR ACCESSIBLE CEILING SPACE.
2. CONNECT ERV SUPPLY TO IU-1 VENT INLET, PROVIDE 150mm GAP.
3. OPEN DUCT, PROVIDE HARDWARE CLOTH OVER OPENING.
4. OU-1 ON WALL BRACKETS, ANCHORED INTO WALL STUDS
5. PROVIDE SPLASHPAD FOR CONDENSATE AND LINESET COVER KIT TO CONCEAL ALL PIPING, ELECTRICAL, ETC.
6. PROVIDE ELECTRIC HEATING RELAYS IN JUNCTION BOX ABOVE ACCESSIBLE DROP CEILING. HEATERS STARTED SECOND-STAGE FROM HEAT PUMP THERMOSTAT.
7. 845 x 150 RETURN PLENUM DUCT, ACOUSTICALLY LINED, 900mm LENGTH, OPENING IN TOP 750 x 250.



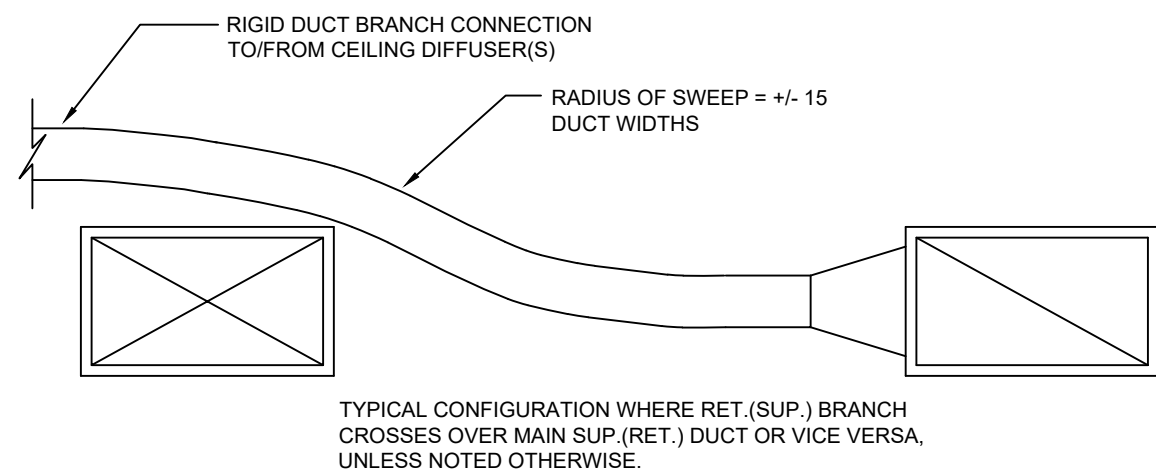
1 MOBILE CLASSROOM FLOOR PLAN - HVAC

1:50



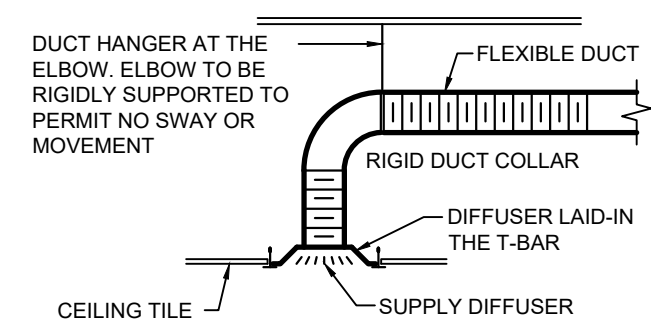
2 TYPICAL HEAT PUMP CONNECTION DETAILS

M100 NTS



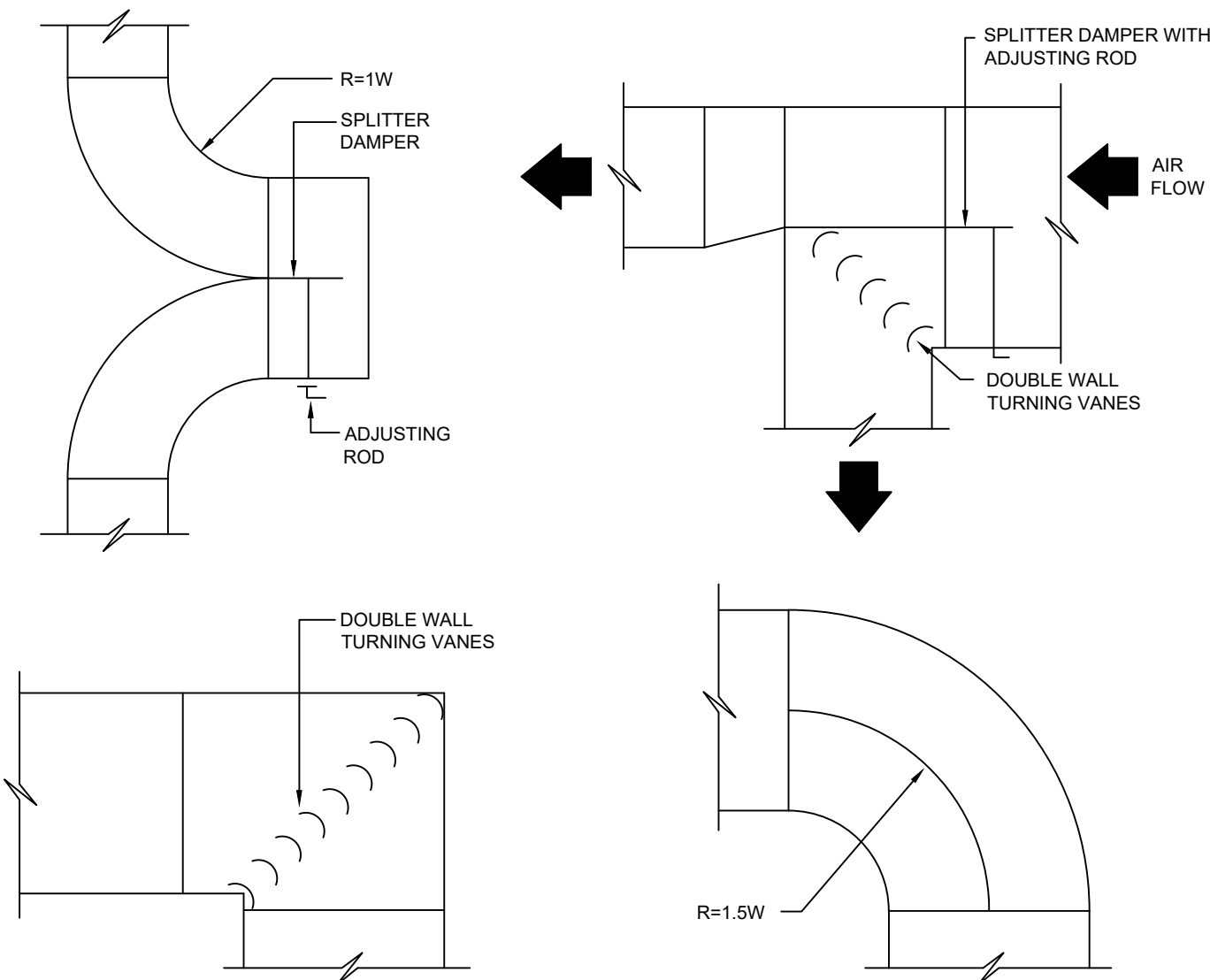
3 DUCT CROSS-OVER SECTION

M100 NTS



5 LAY-IN TYPE DIFFUSER DETAIL

M100 NTS



4 TYPICAL DUCT ELBOW DETAILS

M100 NTS

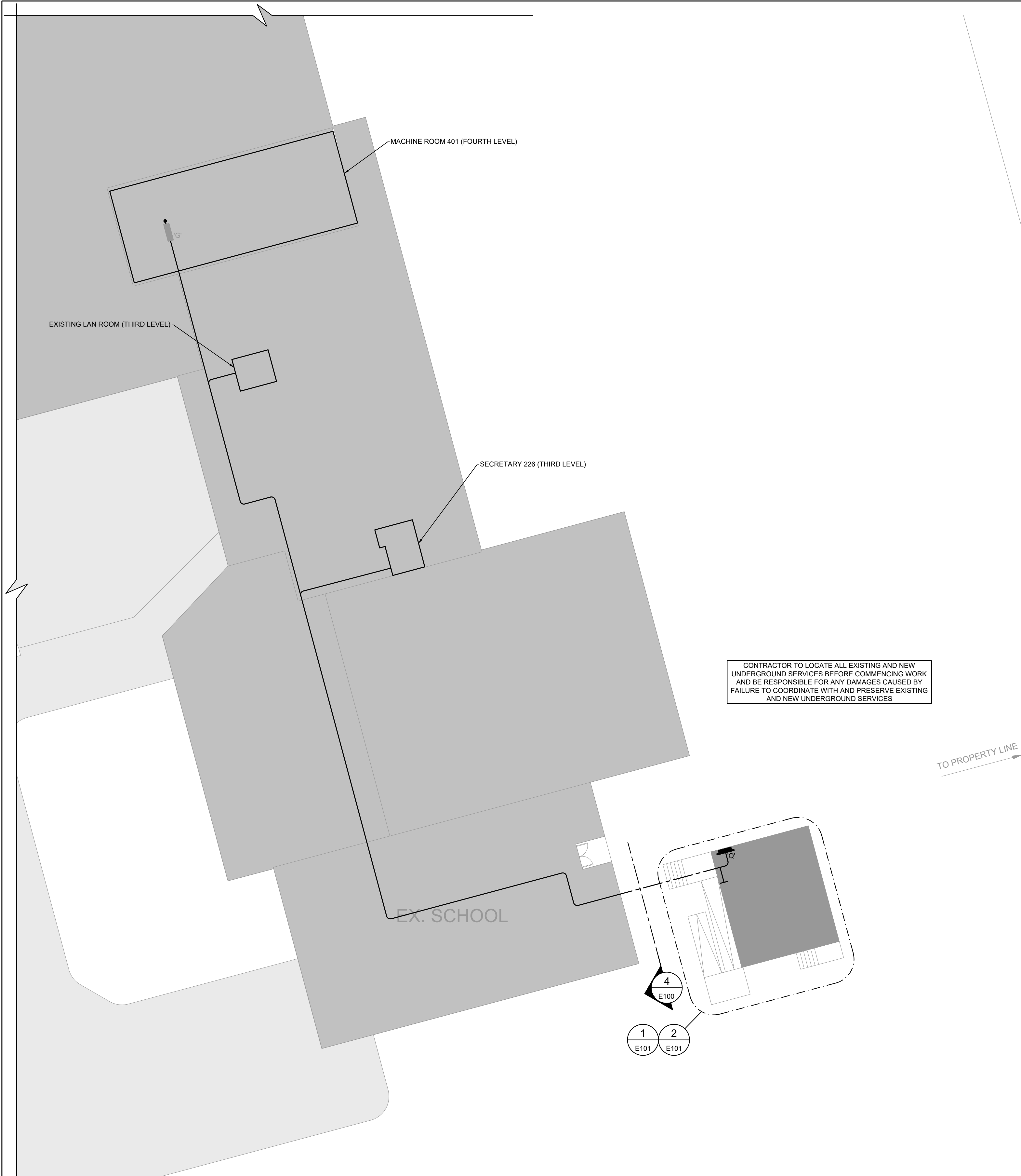
| GRILLE AND DIFFUSER SCHEDULE |                        |              |       |           |                |                          |  |
|------------------------------|------------------------|--------------|-------|-----------|----------------|--------------------------|--|
| TAG                          | TYPE                   | MANUFACTURER | MODEL | SIZE (mm) | NECK SIZE (mm) | MATERIAL OF CONSTRUCTION | NOTES  |
| S-1                          | 4-WAY CEILING DIFFUSER | AIRVECTOR    | DF3   | 600 x 600 | 150            | STEEL                    | ACOUSTIC CEILING TILE MOUNT, PROVIDE NECK MOUNTED BALANCE DAMPER |
| R-1                          | EGGCRATE GRILLE        | AIRVECTOR    | ERT   | 600 x 600 | N/A            | ALUMINUM                 | T-BAR MOUNTING.  |

| ENERGY RECOVERY VENTILATOR SCHEDULE |               |          |          |            |                |             |            |             |             |                  |   |
|-------------------------------------|---------------|----------|----------|------------|----------------|-------------|------------|-------------|-------------|------------------|---|
|                                     | AIRFLOW (LPS) | ESP (Pa) | UNIT FLA | POWER TYPE | % EFF. (TOTAL) | LENGTH (mm) | WIDTH (mm) | HEIGHT (mm) | WEIGHT (kg) | BASIS OF DESIGN  | NOTES   |
| ERV-1, ERV-2                        | 60            | 100      | 1.4      | 120/1/60   | 55.0           | 550         | 550        | 250         | 15          | FANTECH FIT 120E | STATIC PLATE ENERGY RECOVERY CORE, 900mm ELECTRICAL CORD CSA 5-15, MERV 13 FILTERS, ONBOARD DEFROST, ECOTOUCH CONTROLLER. |

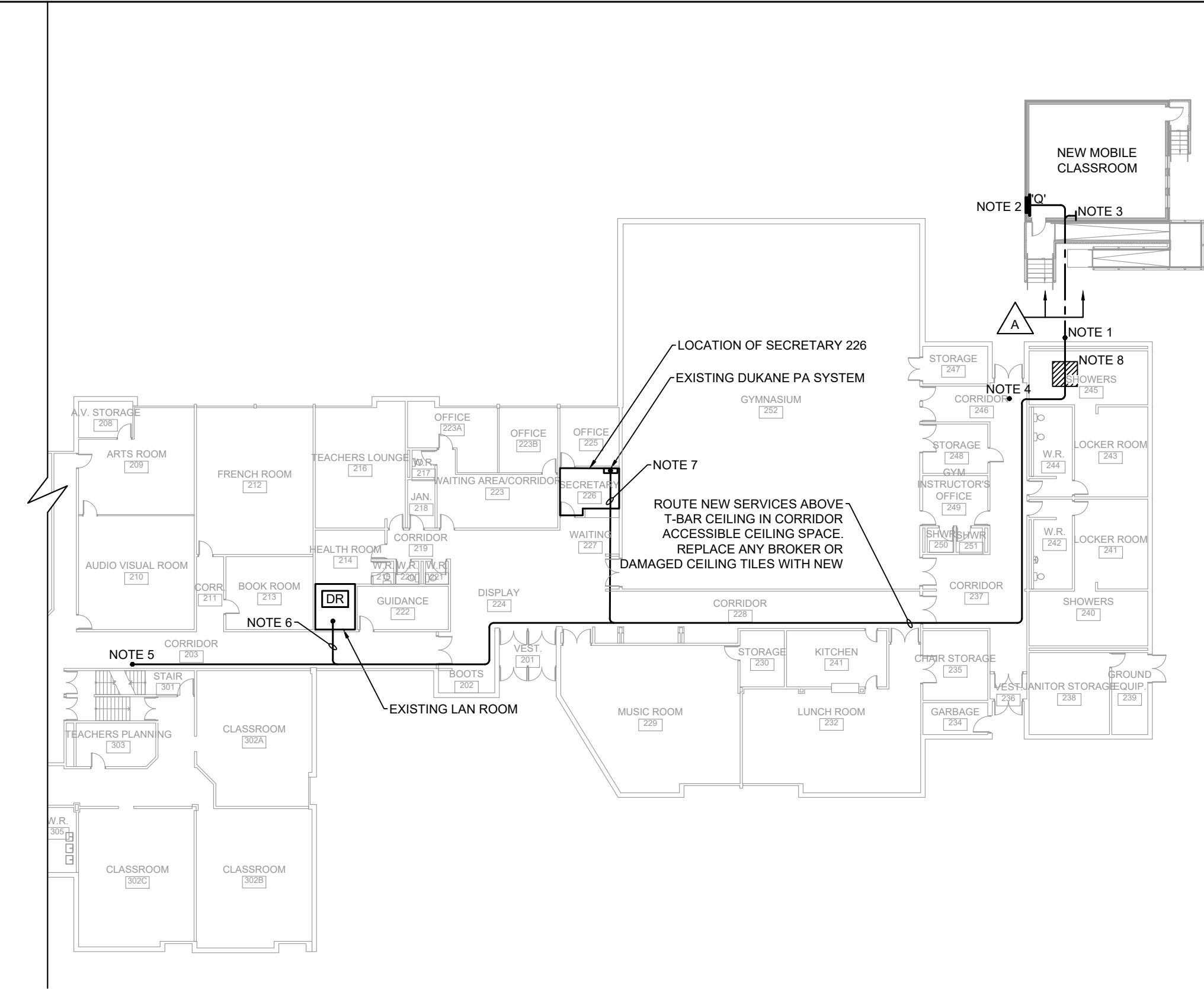
| ELECTRIC HEATING COIL SCHEDULE |                      |              |                       |               |          |          |            |             |            |   |  |
|--------------------------------|----------------------|--------------|-----------------------|---------------|----------|----------|------------|-------------|------------|---|--|
| TAG                            | LOCATION             | MAKE / MODEL | HEATING CAPACITY (kW) | AIRFLOW (LPS) | EAT (°C) | LAT (°C) | WIDTH (mm) | HEIGHT (mm) | POWER TYPE | NOTES   |  |
| HC-1                           | IU-1 SUPPLY AIR DUCT | STELPRO SDHX | 2                     | 300           | 30       | 35       | 750        | 150         | 240/1/60   | SCR DISCHARGE AIR TEMPERATURE CONTROLLER, INTEGRAL LIMIT THERMOSTAT OR AIR-PROOFING SWITCH, TO BE WIRED TO SECOND STAGE HEATING CONTACT FROM IU-1 THERMOSTAT. |  |

| SPLIT SYSTEM HEAT PUMP SCHEDULE |                           |         |                    |                    |                           |      |      |                    |  |   |  |
|---------------------------------|---------------------------|---------|--------------------|--------------------|---------------------------|------|------|--------------------|--|---|--|
| TAG                             | TYPE                      | REFRIG. | HEATING CAP. (MBH) | COOLING CAP. (MBH) | POWER TYPE                | MCA  | MOCP | BASIS OF DESIGN    |  | NOTES   |  |
| OU-1                            | HEAT PUMP CONDENSING UNIT | R410A   | 25.8               | 23                 | 230/1/60                  | 18.8 | 25   | DAIKIN RXL24WMVJU9 |  | C/W DRAIN PAN HEATER, FULL CAPACITY HEATING TO -25C, PROVIDE WALL BRACKET.  |  |
| IU-1                            | DUCTED CONCEALED CASSETTE | R410A   | 25.8               | 23                 | POWERED FROM OUTDOOR UNIT |      |      | DAIKIN FDMQ24WVJU9 |  | C/W HARD-WIRED THERMOSTAT DAIKIN ONE OR EQUAL, COMPLETE WITH EXTERNAL HEAT ADAPTOR FOR DUCT HEATER, ERV DUCT CONNECTION, THERMOSTAT TO START ERV ON SCHEDULE, PROVIDE INTEGRAL CONDENSATE LIFT PUMP, PROVIDE MERV 13 FILTER FRAME |  |

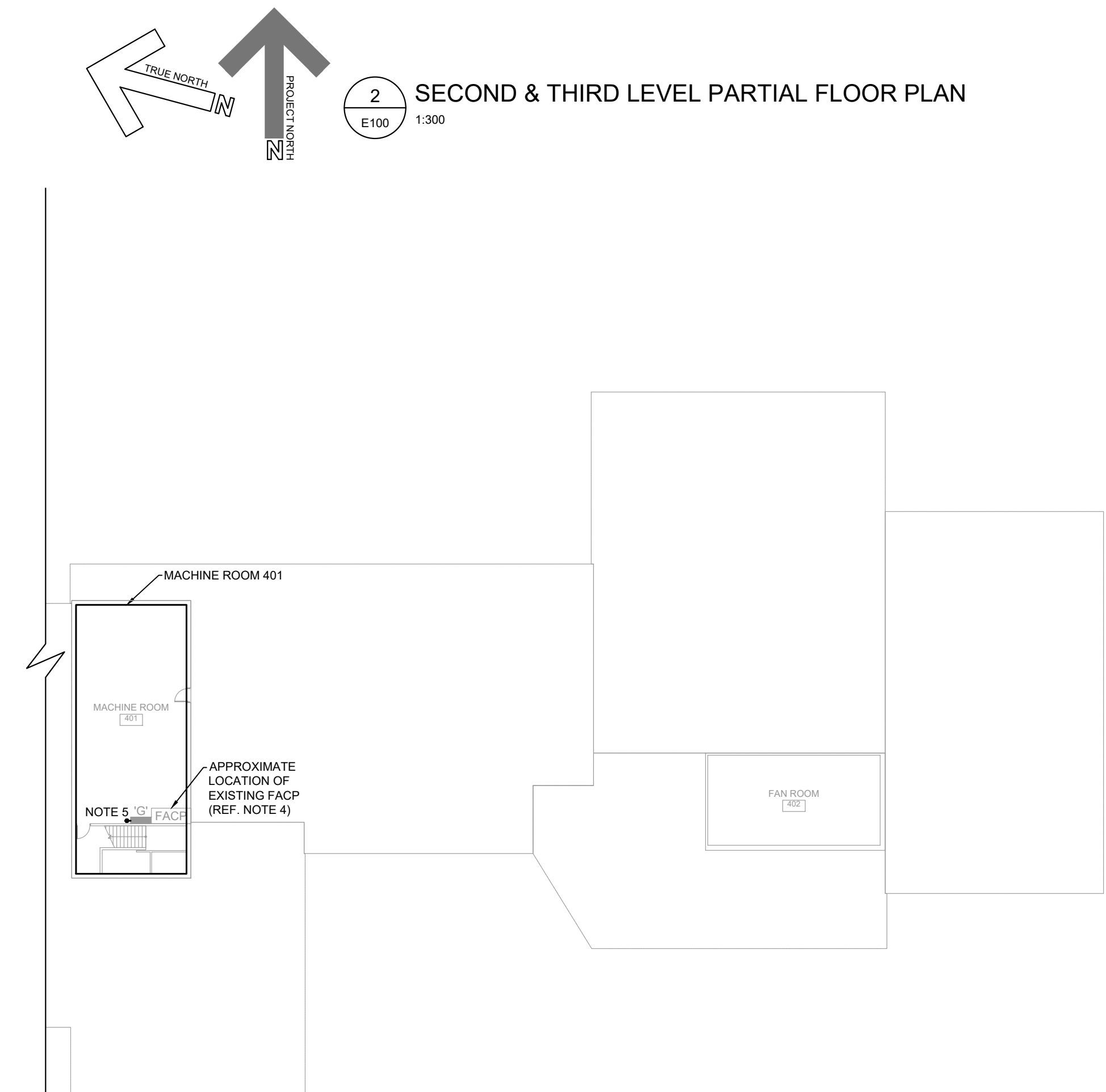




1 PARTIAL SITE PLAN  
E100 1:200



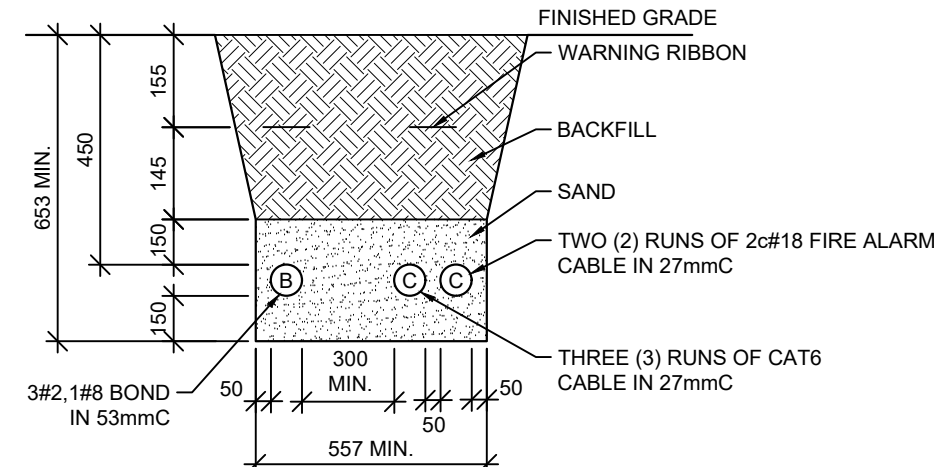
2 SECOND & THIRD LEVEL PARTIAL FLOOR PLAN  
E100 1:300



3 FOURTH LEVEL PARTIAL FLOOR PLAN  
E100 1:300

TRENCH DETAIL NOTES:

- B = SECONDARY VOLTAGE OR BRANCH CIRCUIT CONDUIT QUANTITY AND SIZE AS INDICATED.
- C = COMMUNICATION CONDUIT.
- BACKFILLING OF TRENCH IN LAYERS NOT EXCEEDING 305mm (MECHANICALLY TAMPED).
- USE NEW SOIL FREE FROM LARGE ROCKS OR DEBRIS FOR BACKFILL.
- IF SITE CONDITIONS PROHIBIT TRENCH AS PER THIS DRAWING, ADVISE CONSULTANT.



△ BRANCH CIRCUIT & SYSTEM CONDUIT

4 TRENCH DETAIL  
E100 1:25

NOTES:

- ROUTE TWO (2) 27mm, AND ONE (1) 53mm PVC CONDUITS THROUGH EXTERIOR WALL WITH LB AND ALONG BRICK FACADE. SEAL EXTERIOR PENETRATIONS WITH LOW VOC MASTIC COMPOUND. PROVIDE LINEAR EXPANSION SLEEVES ON ALL CONDUIT AS WELL AS 300mm OF STEEL U-GUARD MECHANICAL PROTECTION.
- ROUTE ONE (1) 27mm AND ONE (1) 53mm PVC CONDUIT THROUGH BOTTOM OF MOBILE AND INTO PVC FIRE ALARM JUNCTION BOX AND NEW PANELBOARD 'Q' RESPECTIVELY. CONNECT 3#2, 1#8 BOND IN 53mmC TO NEW 100A RATED, 60A MB, 1200/240V, SINGLE PHASE, THREE WIRE RECESS MOUNTED PANELBOARD. PROVIDE FOR NEW PENETRATIONS FOR CONDUITS, AND SEAL PENETRATIONS WITH LOW VOC MASTIC COMPOUND.
- ROUTE ONE (1) 27mm PVC CONDUIT UP THROUGH BOTTOM OF MOBILE WITHIN THE INTERIOR OF GYPSUM WALL CAVITY AND INTO THE ACCESSIBLE CEILING SPACE OF MOBILE CLASSROOM. PROVIDE FOR FLOOR PENETRATION TO RUN NEW SERVICE, AND SEAL WITH LOW VOC MASTIC COMPOUND. SECURELY FASTEN FEEDER CONDUIT ROUTED EXPOSED UNDER MOBILE.
- SUPPLY AND INSTALL NEW FIRE ALARM ADDRESSABLE RELAY MODULES AND CONNECT TO EXISTING INITIATION AND NOTIFICATION APPLIANCE LOOPS OF EXISTING NOTIFIER NSFP-10UD FIRE ALARM SYSTEM. EXACT LOCATION OF CLOSEST AVAILABLE FIRE ALARM LOOPS TO BE DETERMINED ON SITE.
- INSTALL ONE (1) 60A/2P CIRCUIT BREAKER IN CIRCUIT SPACES 28 & 30 OF EXISTING SURFACE MOUNTED 225A RATED, 120/208V, 1PH, 3W, SQUARE D 'NO' PANELBOARD 'Q' LOCATED IN MACHINE ROOM 401. ROUTE 3#2 TECK CABLE DOWN FROM PANELBOARD, THROUGH EXISTING CONCRETE FLOOR AND INTO THE ACCESSIBLE CEILING SPACE OF CORRIDOR 203, 228 & 237 AS SHOWN. PROVIDE FOR FLOOR PENETRATION TO RUN NEW SERVICE CABLE AND FIRE SEAL TO MAINTAIN FIRE RATINGS OF FLOOR STRUCTURE. TRANSITION TO RW80 IN PVC CONDUIT ROUTED U/G OUT INTO MOBILE CLASSROOM. AT BOTH ENDS OF CABLE.
- ROUTE TWO (2) CAT 6 CABLES FROM EXISTING DATA RACK LOCATED IN EXISTING LAN ROOM THROUGH EXISTING ZONE CONDUITS INTO ACCESSIBLE CEILING SPACE OF CORRIDOR 203, 228 & 237 AS SHOWN ALONG EXISTING J-HOOK. SUPPORTS TO NEW MOBILE CLASSROOM. COORDINATE ROUTING WITH ITSS. PROVIDE 3m OF SLACK CABLE AT BOTH ENDS OF CABLE.
- ROUTE ONE (1) CAT 6 CABLE FROM EXISTING PA SYSTEM LOCATED IN SECRETARY 226 INTO ACCESSIBLE CEILING SPACE OF CORRIDOR 228 & 237 AS SHOWN ALONG EXISTING J-HOOK. SUPPORTS TO NEW MOBILE CLASSROOM. COORDINATE ROUTING WITH ITSS ON-SITE. PROVIDE 3m OF SLACK CABLE AT BOTH ENDS OF CABLE. EXACT LOCATION OF DUKANE TIE-IN TO BE COORDINATED ON SITE WITH DEPARTMENTAL REPRESENTATIVE AND ITSS ON SITE.
- CONTRACTOR TO CUT A SECTION OF EXISTING GYPSUM CEILING IN SHOWERS 245 TO FACILITATE THE ROUTING OF NEW SERVICES ASSOCIATED WITH MOBILE CLASSROOM. PROVIDE ALL CUTTING, PATCHING, PAINTING, AND REMEDIATION REQUIRED.

**COLES**  
Architecture + Engineering + Project Management

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Charlottetown, PEI, Canada, C1A 1R6  
Phone (902) 368-2300  
www.colesassociates.com



Client  
Prince Edward Island Department of  
Transportation and Infrastructure  
PEIG DTI #470-25016

Project Title  
Queen Elizabeth Elementary School  
New Mobile Classroom

Sheet Title  
Partial Site Plan, Partial Floor Plans  
& Trench Detail

| No. | Description       | Date       | Date:           | 2025-05-22     | Revision |
|-----|-------------------|------------|-----------------|----------------|----------|
| 0   | Issued for Tender | 2025-05-22 | Drn By:         | MP, TT, E.I.T. | 0        |
|     |                   |            | Chk By:         | EA, P.Eng      |          |
|     |                   |            | Project Number: | 251074         |          |
|     |                   |            | Drawing Number: | E100           |          |



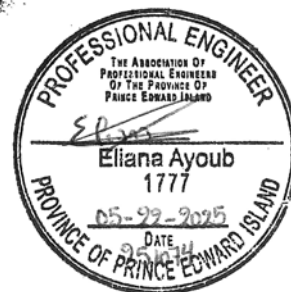
2 MOBILE CLASSROOM FLOOR PLAN - LIGHTING  
E101 1:50

**NOTES:**

- ALL NEW CSA 5-15R AND 5-20R RECEPTACLES ARE TO BE TAMPER RESISTANT EXCEPT WHERE THEY ARE INACCESSIBLE OR MORE THAN 1830mm AFF IN ACCORDANCE WITH CSA 22.1-24 ARTICLE 26-706.
- PRIOR TO COMMENCEMENT OF ANY ELECTRICAL WORK ASSOCIATED WITH THE NEW ADDITION, CONTRACTOR TO SCHEDULE AND COORDINATE WITH THE GENERAL CONTRACTOR AND OWNER FOR ANY TEMPORARY SHUTDOWN OR WORK REQUIRED AT THE ADDITION. CONTRACTOR TO ENSURE ALL PANELBOARDS BEING WORKED ON DURING CONSTRUCTION TO BE LOCKED AT ALL TIMES WHEN UNSUPERVISED.
- GAUGE OF BRANCH CIRCUIT WIRING TO BE SIZED FOR A MAXIMUM VOLTAGE DROP OF 3% IN ACCORDANCE WITH CSA 22.1-24 SECTION 8.
- EXPOSED ELECTRICAL CONDUIT BOXES AND SUPPORTS IN FINISHED AREAS ARE TO BE PAINTED THE COLOUR OF ADJACENT FINISHED SURFACE. COORDINATE EXACT COLOUR AND ASSOCIATED PAINTING WITH GENERAL CONTRACTOR ON SITE.
- COORDINATE ALL COMMUNICATIONS WORK, INCLUDING BUT NOT LIMITED TO LABELING AND TERMINATIONS WITH ITSS ON SITE. ALL COMMUNICATIONS WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE MOST UP-TO-DATE PEI GOVERNMENT (ITSS) WIRING STANDARDS.
- CONTRACTOR TO PROVIDE UPDATED FIRE ALARM VERIFICATION REPORT TO THE MANUFACTURER CERTIFYING THAT THE EXISTING MODIFIED FIRE ALARM SYSTEM HAS BEEN TESTED AND RE-VERIFIED IN ACCORDANCE WITH CANULC-5524 AND CANULC-5536.

**NOTES:**

- DUPLEX RECEPTACLE DEDICATED FOR PROJECTOR. COORDINATE EXACT LOCATION WITH DEPARTMENTAL REPRESENTATIVE ON SITE PRIOR TO ROUGH-IN.
- CONNECT NEW PUBLIC ADDRESS SPEAKERS AND CALL-IN SWITCHES TO EXISTING PUBLIC ADDRESS LOOP OF EXISTING DUKANE SYSTEM WITH NEW WIRING. NEW WIRING TO MATCH EXISTING PUBLIC ADDRESS INSTALLATION BACK TO THE MAIN PA SYSTEM RACKED IN SECRETARY 226. EXIST RECESS MOUNTED PUBLIC ADDRESS SPEAKER TO MATCH EXISTING TO MATCH EXISTING. COORDINATE TAP SETTING OF 70V SPEAKER ON SITE. PA SYSTEM DEVICES TO BE SUPPLIED AND INSTALLED BY ITSS, AND WIRING TO BE COMPLETED BY CONTRACTOR. COORDINATE INSTALLATION WITH ITSS ON SITE.
- NEW SPEECH REINFORCEMENT RECEIVER TO BE SUPPLIED AND INSTALLED BY CONTRACTOR. RECEIVER TO BE SHELF MOUNTED ADJACENT TO TEACHER'S STATION. MAIN CONTRACTOR TO RUN 240V DISCONNECT INTERFACE DEVICES INSTALLED FROM NEW SPEECH REINFORCEMENT SPEAKERS THROUGH ACCESSIBLE CEILING SPACE AND THEN DOWNWARDS THROUGH INTERIOR OF GYPSUM WALL CAVITY TO SPEECH REINFORCEMENT RECEIVER. SPEECH REINFORCEMENT SPEAKERS AND RECEIVER TO BE SUPPLIED AND WIRING IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION AND WIRING INSTRUCTIONS. SHELF TO BE PROVIDED BY OTHERS.
- NEW WIRELESS ACCESS ROUTER TO BE SUPPLIED AND INSTALLED BY ITSS, AND WIRED BY THIS CONTRACTOR. WIRE ROUTER WITH ONE (1) CAT 6 COMMUNICATIONS CABLE ROUTED THROUGH THE ACCESSIBLE CEILING SPACE.
- CONTRACTOR TO INSTALL ONE 27mm CW PULL CORD FROM HDMI AV OUTLET BOX AND STUB ADJACENT TO THE PROJECTOR. COORDINATE EXIST STUB UP LOCATION ON SITE PRIOR TO ROUGH-IN.
- CONNECT TWO (2) FIRE ALARM MANUAL PULL STATIONS, ONE SMOKE DETECTOR AND ONE (1) FIRE ALARM COMBINATION NOTIFICATION APPLIANCE TO EXISTING NOTIFIER #59F-100D CONVENTIONAL FIRE ALARM SYSTEM INSTALLED IN MACHINE ROOM 401. THE NEW WIRING FOR NEW FIRE ALARM NOTIFICATION INTERFACE DEVICES INSTALLED IN ACCESSIBLE CEILING SPACE OF CORRIDOR 246. ALL WIRING TO BE COMPLETED IN ACCORDANCE WITH THE MANUFACTURERS WIRING INSTRUCTIONS AND FIRE ALARM WIRING STANDARDS. CONTRACTOR TO PROVIDE A SIGNED REPORT TO THE ENGINEER CERTIFYING THAT THE MODIFIED FIRE ALARM SYSTEM HAS BEEN INSTALLED AND VERIFIED IN ACCORDANCE WITH CANULC-5537.
- DUPLEX RECEPTACLES DEDICATED FOR ERV UNITS. COORDINATE EXACT LOCATIONS WITH MECHANICAL CONTRACTOR ON SITE.
- EXTERIOR WIRING TO CSA TYPE 3R RATED UNFUSED DISCONNECT SWITCH AND ASSOCIATED CONDENSER TO BE COMPLETED WITH TECK CABLE. SEAL EXTERIOR PENETRATIONS WITH LOW VOC MASTIC COMPOUND. ROUTE EXTERIOR TECK CABLE WITH REFRIGERANT LINES THROUGH MECHANICAL SUPPORTS. COORDINATE EXACT LOCATION AND MOUNTING OF 3R RATED DISCONNECT SWITCH ON SITE. COORDINATE EXACT MANUFACTURER RECOMMENDED MOCOP PRIOR TO INSTALL.
- PULL STATIONS TO BE PROVIDED WITH FLUSH MOUNTED PULL STATION COVERS. ACCEPTABLE MATERIAL: ST1-130109 OR APPROVED EQUAL.



Project Title  
Queen Elizabeth Elementary School  
New Mobile Classroom

|     |                   |            |                          |   |
|-----|-------------------|------------|--------------------------|---|
| No. | Description       | Date       | Date: 2025-05-22         | Revision<br><div style="border: 1px solid black; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">0</div> |
| 0   | Issued for Tender | 2025-05-22 | Drn By: MP, TT, E, I, T. |   |
|     |                   |            | Chk By: EA, P, Eng       |   |
|     |                   |            | Project Number:          |   |
|     |                   |            | <b>251074</b>            |   |
|     |                   |            | Drawing Number:          |   |
|     |                   |            | <b>E101</b>              |   |

**Field Review of Construction  
Inspection Commitment Declaration  
Prime Consultant**

To: **The authority having jurisdiction** Date: MAY 22 2025  
**PEI Department of Agriculture & Land Inspection Services**  
**J. Elmer Blanchard Building, 31 Gordon Drive, Charlottetown, PE**  
*Address (print)*

Dear: **Building Standards Official**  
Re: **2 Saunders Ln, Kensington, PE C0B 1M0**  
**Queen Elizabeth Elementary School - Alone Mobile Classroom - DTI#470-25016**  
*Name of project (print)*

This is to advise that I am the architect or professional engineer appointed by the owner as prime consultant to coordinate the Field Review of Construction for the above referenced project.

I hereby declare as prime consultant for this project that I will coordinate the Field Review of Construction for the following disciplines which I have checked and initialled.

|  |  |                                       |
|--|--|---------------------------------------|
| <input checked="" type="checkbox"/> Building Design        | <input checked="" type="checkbox"/> Structural | <input type="checkbox"/> Plumbing     |
| <input checked="" type="checkbox"/> Mechanical             | <input checked="" type="checkbox"/> Electrical | <input type="checkbox"/> Geotechnical |
| <input type="checkbox"/> Fire Detection/Suppression System |  |                                       |

I attach for your review the Field Review of Construction Inspection Commitment Declarations for each above marked and initialed discipline completed by an appropriate professional for each discipline, or shall forward the Field Review of Commitment Declaration for those not yet appointed.

I, and professionals who have completed the various Field Review of Construction Inspection Commitment Declarations will perform the Field Review of Construction.

I also declare that

- (1) I will coordinate the review of shop drawings;
- (2) I will coordinate the review of changes to the design documents; and
- (3) When satisfied that the work substantially complies with the design drawings I will complete or have completed by the appropriate professional the Declaration of Field Review of Construction and return it to the authority having jurisdiction prior to requesting the occupancy permit.

Please be advised that I may delegate some or all of my duties associated with the coordination of the Field Review of Construction to another person employed by me or my firm where it is consistent with prudent professional practice to do so. The functions will however be performed under my supervision in accordance with the *Engineering Profession Act*, R.S.P.E.I. 1988, Cap. E-8.1, or the *Architects Act*, R.S.P.E.I. 1988, Cap. A-18.1.

I shall notify the authority having jurisdiction, in writing as soon as practical, but not later than 3 business days, if the contract for Field Review of Construction is terminated at any time during construction.

**Darrin Dunsford, AAPEI**

*Print Name*

*Signature*

**Coles Associates Ltd.**

*Print name of Firm or Company*

**201-85 Fitzroy Street, Charlottetown, PE**

*Address / Municipality*

**C1A 1R6**

*Postal Code*

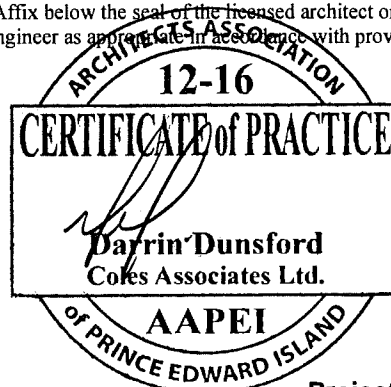
**902-368-2300**

*Phone*

**ddunsford@colesassociates.com**

*E-mail*

(Affix below the seal of the licensed architect or professional engineer as appropriate in accordance with provincial legislation)



**Project #251074**

**Field Review of Construction  
Inspection Commitment Declaration**

To: **The authority having jurisdiction** Date: 22 May 2025  
**PEI Department of Agriculture & Land Inspection Services**  
**J. Elmer Blanchard Building, 31 Gordon Drive, Charlottetown, PE**  
*Address (print)*

Dear: **Building Standards Official**  
Re: **2 Saunders Ln, Kensington, PE C0B 1M0**  
**Queen Elizabeth Elementary School - Alone Mobile Classroom - DTI#470-25016**  
*Name of project (print)*

This is to advise that I am the architect or professional engineer appointed by the owner or prime consultant to perform the Field Review of Construction for (check appropriate box):

- |  |  |                                       |
|--|--|---------------------------------------|
| <input type="checkbox"/> Building Design                   | <input checked="" type="checkbox"/> Structural | <input type="checkbox"/> Plumbing     |
| <input type="checkbox"/> Mechanical                        | <input type="checkbox"/> Electrical            | <input type="checkbox"/> Geotechnical |
| <input type="checkbox"/> Fire Detection/Suppression System |  |                                       |

I hereby declare that:

- (1) I will review the shop drawings to determine general compliance with the design documents, however, the party producing the shop drawings remains responsible for the design expressed therein;
- (2) I will coordinate the review of changes to the design drawings to determine that the changes conform to the Code; and
- (3) When satisfied that the work substantially complies with the design drawings, I will complete the Declaration of Field Review of Construction and return it to the authority having jurisdiction prior to requesting the occupancy permit.

Please be advised that I may delegate some or all of my duties associated with the Field Review of Construction to another person employed by me or my firm where it is consistent with prudent professional practice to do so. The functions will however be performed under my supervision in accordance with the *Architects Act*, R.S.P.E.I. 1988, Cap. A-18.1 or the *Engineering Profession Act*, R.S.P.E.I. 1988, Cap. E-8.1.

I shall notify the authority having jurisdiction, in writing as soon as practical, but not later than 3 business days if the contract for Field Review of Construction is terminated at any time during construction.

**Nazmi Lawen, P.Eng.**

*Print Name*

*Signature*

**Coles Associates Ltd.**

*Print name of Firm or Company*

**201-85 Fitzroy Street, Charlottetown, PE C1A 1R6**  
*Address / Municipality Postal Code*

**902-368-2300 nlawen@colesassociates.com**  
*Phone E-mail*

(Affix below the seal of the licensed architect or professional engineer as appropriate in accordance with provincial legislation)



**Project #251074**

# Field Review of Construction Inspection Commitment Declaration

To: **The authority having jurisdiction** Date: MAY 22 2025  
**PEI Department of Agriculture & Land Inspection Services**  
**J. Elmer Blanchard Building, 31 Gordon Drive, Charlottetown, PE**  
*Address (print)*

Dear: **Building Standards Official**

Re: **2 Saunders Ln, Kensington, PE C0B 1M0**  
**Queen Elizabeth Elementary School - Alone Mobile Classroom - DTI#470-25016**  
*Name of project (print)*

This is to advise that I am the architect or professional engineer appointed by the owner or prime consultant to perform the Field Review of Construction for (check appropriate box):

☒ Building Design ☐ Structural ☐ Plumbing  
☐ Mechanical ☐ Electrical ☐ Geotechnical  
☐ Fire Detection/Suppression System

I hereby declare that:

- (1) I will review the shop drawings to determine general compliance with the design documents, however, the party producing the shop drawings remains responsible for the design expressed therein;
- (2) I will coordinate the review of changes to the design drawings to determine that the changes conform to the Code; and
- (3) When satisfied that the work substantially complies with the design drawings, I will complete the Declaration of Field Review of Construction and return it to the authority having jurisdiction prior to requesting the occupancy permit.

Please be advised that I may delegate some or all of my duties associated with the Field Review of Construction to another person employed by me or my firm where it is consistent with prudent professional practice to do so. The functions will however be performed under my supervision in accordance with the *Architects Act*, R.S.P.E.I. 1988, Cap. A-18.1 or the *Engineering Profession Act*, R.S.P.E.I. 1988, Cap. E-8.1.

I shall notify the authority having jurisdiction, in writing as soon as practical, but not later than 3 business days if the contract for Field Review of Construction is terminated at any time during construction.

**Darrin Dunsford, AAPEI**

*Print Name*

*Signature*

**Coles Associates Ltd.**

*Print name of Firm or Company*

**201-85 Fitzroy Street, Charlottetown, PE C1A 1R6**

*Address / Municipality*

*Postal Code*

**902-368-2300**

*Phone*

**ddunsford@colesassociates.com**

*E-mail*

(Affix below the seal of the licensed architect or professional engineer as appropriate in accordance with provincial legislation)



**Project #251074**



## Field Review of Construction Inspection Commitment Declaration

To: **The authority having jurisdiction** Date: May 21, 2025  
**PEI Department of Agriculture & Land Inspection Services**  
**J. Elmer Blanchard Building, 31 Gordon Drive, Charlottetown, PE**  
*Address (print)*

Dear: **Building Standards Official**  
Re: **2 Saunders Ln, Kensington, PE C0B 1M0**  
**Queen Elizabeth Elementary School - Alone Mobile Classroom - DTI#470-25016**  
*Name of project (print)*

This is to advise that I am the architect or professional engineer appointed by the owner or prime consultant to perform the Field Review of Construction for (check appropriate box):

- |  |                                     |                                       |
|--|-------------------------------------|---------------------------------------|
| <input checked="" type="checkbox"/> Building Design        | <input type="checkbox"/> Structural | <input type="checkbox"/> Plumbing     |
| <input checked="" type="checkbox"/> Mechanical             | <input type="checkbox"/> Electrical | <input type="checkbox"/> Geotechnical |
| <input type="checkbox"/> Fire Detection/Suppression System |                                     |                                       |

I hereby declare that:

- (1) I will review the shop drawings to determine general compliance with the design documents, however, the party producing the shop drawings remains responsible for the design expressed therein;
- (2) I will coordinate the review of changes to the design drawings to determine that the changes conform to the Code; and
- (3) When satisfied that the work substantially complies with the design drawings, I will complete the Declaration of Field Review of Construction and return it to the authority having jurisdiction prior to requesting the occupancy permit.

Please be advised that I may delegate some or all of my duties associated with the Field Review of Construction to another person employed by me or my firm where it is consistent with prudent professional practice to do so. The functions will however be performed under my supervision in accordance with the *Architects Act*, R.S.P.E.I. 1988, Cap. A-18.1 or the *Engineering Profession Act*, R.S.P.E.I. 1988, Cap. E-8.1.

I shall notify the authority having jurisdiction, in writing as soon as practical, but not later than 3 business days if the contract for Field Review of Construction is terminated at any time during construction.

**Sean Wheeler, P. Eng.**

*Print Name*

*Signature*

**Coles Associates Ltd.**

*Print name of Firm or Company*

**201-85 Fitzroy Street, Charlottetown, PE C1A 1R6**  
*Address / Municipality Postal Code*

**902-368-2300** **swheeler@colesassociates.com**  
*Phone E-mail*

(Affix below the seal of the licensed architect or professional engineer as appropriate in accordance with provincial legislation)



**Project #251074**



## Field Review of Construction Inspection Commitment Declaration

To: **The authority having jurisdiction** Date: May 22, 2025  
**PEI Department of Agriculture & Land Inspection Services**  
**J. Elmer Blanchard Building, 31 Gordon Drive, Charlottetown, PE**  
*Address (print)*

Dear: **Building Standards Official**  
Re: **2 Saunders Ln, Kensington, PE C0B 1M0**  
**Queen Elizabeth Elementary School - Alone Mobile Classroom - DTI#470-25016**  
*Name of project (print)*

This is to advise that I am the architect or professional engineer appointed by the owner or prime consultant to perform the Field Review of Construction for (check appropriate box):

- |  |  |                                       |
|--|--|---------------------------------------|
| <input type="checkbox"/> Building Design                   | <input type="checkbox"/> Structural            | <input type="checkbox"/> Plumbing     |
| <input type="checkbox"/> Mechanical                        | <input checked="" type="checkbox"/> Electrical | <input type="checkbox"/> Geotechnical |
| <input type="checkbox"/> Fire Detection/Suppression System |  |                                       |

I hereby declare that:

- (1) I will review the shop drawings to determine general compliance with the design documents, however, the party producing the shop drawings remains responsible for the design expressed therein;
- (2) I will coordinate the review of changes to the design drawings to determine that the changes conform to the Code; and
- (3) When satisfied that the work substantially complies with the design drawings, I will complete the Declaration of Field Review of Construction and return it to the authority having jurisdiction prior to requesting the occupancy permit.

Please be advised that I may delegate some or all of my duties associated with the Field Review of Construction to another person employed by me or my firm where it is consistent with prudent professional practice to do so. The functions will however be performed under my supervision in accordance with the *Architects Act*, R.S.P.E.I. 1988, Cap. A-18.1 or the *Engineering Profession Act*, R.S.P.E.I. 1988, Cap. E-8.1.

I shall notify the authority having jurisdiction, in writing as soon as practical, but not later than 3 business days if the contract for Field Review of Construction is terminated at any time during construction.

**Eliana Ayoub, P. Eng.**

*Print Name*

*Signature*

**Coles Associates Ltd.**

*Print name of Firm or Company*

**201-85 Fitzroy Street, Charlottetown, PE C1A 1R6**

*Address / Municipality*

*Postal Code*

**902-368-2300**

*Phone*

**eayoub@colesassociates.com**

*E-mail*

(Affix below the seal of the licensed architect or professional engineer as appropriate in accordance with provincial legislation)



**Project #251074**

**Letter of Undertaking**  
**Declaration of Commitment by Owner to the Authority Having Jurisdiction**

To: The authority having jurisdiction

PEI Department of Agriculture & Land Inspection Services  
J. Elmer Blanchard Building, 31 Gordon Drive, Charlottetown, PE  
Address (print)

Re: 2 SAUNDERS LANE, KENSINGTON, PE C0B 1M0  
Address of project (print)

QUEEN ELIZABETH ELEMENTARY - STAND ALONE MOBILE CLASSROOM  
Name of project (print) PEIG DTI # 470-25016

(Submit this completed Letter of Undertaking to the authority having jurisdiction along with a completed application for a building permit.)

I am the owner of the project and I have appointed one or more architects, professional engineers, or prime consultants to undertake, as required, the Field Review of Construction and I have attached to this Letter of Undertaking (check appropriate boxes)

☐ A Field Review of Construction Commitment Declarations completed by me or the prime consultant appointed by me to coordinate the Field Review of Construction.

☐ A Field Review of Construction Commitment Declarations (identified below) completed by individual designers appointed by me to perform the Field Review of Construction for the applicable discipline(s).

☐ I shall forward Field Review of Construction Commitment Declarations for those not yet appointed.

(Initial the disciplines that apply to this project. All disciplines will not necessarily be employed on every project)

☐ Building Design      ☐ Structural      ☐ Plumbing  
☐ Mechanical      ☐ Electrical      ☐ Geotechnical  
☐ Fire Detection/Suppression System

I shall notify the authority having jurisdiction if the architect, or professional engineer named in the attached "Review of Construction Commitment Declarations" ceases, for whatever reason, to provide the Field Review of Construction for this building and shall appoint another architect and professional engineer immediately so that the Field Review of Construction will continue uninterrupted. This notice and the necessary Field Review of Construction Commitment Declaration(s) shall be forwarded to the authority having jurisdiction as soon as practical, but not later than 3 business days.

Arber Capo      May 22, 2025  
Signature of Owner      Date

ARBER CAPO PEI Dept of TRANSPORTATION AND INFRASTRUCTURE  
Print name

11 KEN'S STREET, PO BOX 2000, CHARLOTTETOWN, PE C1E 4N8  
Address      Postal Code

902-218-1644      acap@goi.pe.ca  
Phone      E-mail



## Town of Kensington - Request for Decision

|   |   |
|---|---|
| <b>Date:</b> June 9, 2025   | <b>Request for Decision No:</b> 2025-24<br><b>(Office Use Only)</b> |
| <b>Topic:</b> PEI Rural Growth Initiative – Capital Assistance Application  |   |
| <b>Proposal Summary/Background:</b> <p>The Town of Kensington is preparing a funding application to the PEI Rural Growth Initiative for a series of capital improvements that will enhance emergency services and tourism-related infrastructure. The proposed project includes:</p> <ul style="list-style-type: none"><li>• Fire Department:<ul style="list-style-type: none"><li>○ Procurement of new bunker gear.</li><li>○ Lifting and leveling of the concrete apron in front of the fire hall.</li><li>○ Replacement of interior flooring in the fire hall.</li></ul></li><li>• Tourism Infrastructure – Freight Shed:<ul style="list-style-type: none"><li>○ Installation of three heat pumps in the Freight Shed, which houses two seasonal tourism-based operations: the Kensington Art Co-op and the Kensington Artisans Co-op.</li></ul></li></ul> <p>This initiative is designed to improve public safety, enhance critical infrastructure maintenance, and support economic development through improved tourism services.</p> |   |
| <b>Benefits:</b> <ul style="list-style-type: none"><li>• Enhances firefighter safety and operational readiness.</li><li>• Improves drainage and building longevity at the fire hall.</li><li>• Increases energy efficiency and extends the usability of a key tourism space.</li><li>• Promotes cultural and economic activity within the community.</li></ul>  |   |
| <b>Disadvantages:</b> <ul style="list-style-type: none"><li>• No significant disadvantages are identified.</li><li>• The Town will be required to fund its share of project costs and assume responsibility for long-term maintenance.</li></ul>  |   |
| <b>Discussion/Comments:</b> <p>The PEI Rural Growth Initiative supports investments in municipal infrastructure that enhance</p>  |   |



community resilience, quality of life, and rural economic development. The proposed projects align with the program's objectives and reflect immediate and long-term priorities for the Town.

The RGI will fund 75% of the proposed fire related projects up to a maximum of \$250,000. The Heat Pump component of the RGI will fund 100% of the heat pump costs to a maximum of \$20,000.

All components of the application have been costed and can be accommodated within the Town's capital planning framework. Council approval is required to formalize the application and confirm the Town's financial and operational commitments.

**Options:**

1. Approve the funding application and associated commitments.
2. Approve the application with modifications to scope.
3. Decline to proceed with the application.

**Costs/Required Resources:**

\$51,555.14

RGI – \$43,316.32

Town (Fire Dept) – \$8,238.82

**Source of Funding:**

Rural Growth Initiative Fund

Fire Department Capital

**Recommendation:**

That Town Council approve the submission of the funding application to the PEI Rural Growth Initiative as presented.

**Proposed Resolution:**

***BE IT RESOLVED THAT Town Council approve the submission of a funding application to the PEI Rural Growth Initiative to support the following initiatives:***

- *Procurement of new bunker gear for the Kensington Fire Department;*
- *Lifting and leveling of the concrete slab at the fire hall apron;*
- *Replacement of fire hall flooring; and*
- *Installation of two heat pumps in the Town's Freight Shed to support local tourism operations.*

***BE IT FURTHER RESOLVED THAT Town Council understands and commits that it will be responsible for its designated share of the total eligible costs of the project and will assume responsibility for all operations and maintenance costs resulting from the project.***

***BE IT FURTHER RESOLVED THAT Town Council authorize the Chief Administrative Officer to finalize and submit the funding application and to execute any agreements or documents required to facilitate the implementation of the project, subject to confirmation of funding.***



## Rural Growth Initiative Application Form 2025-26

|   |  |                  |
|---|--|------------------|
| <b>For office use only:</b>   | <b>Privacy Statement:</b> Personal information on this form is collected under section 32(1) of the Freedom of Information and Protection of Privacy Act R.S.P.E.I. 1988, Cap. F-15.01, as it relates directly to and is necessary for the programs administered under the Rural Growth Initiative. If you have any questions about this collection of personal information you may contact the Director of Rural and Regional Development - PO Box 1180, Montague, PE C0A 1R0 or call 902-838-0662. |                  |
| Date Received:  |  |                  |
| File Number:  |  |                  |
| <b>APPLICATION INSTRUCTIONS</b>   |  |                  |
| <ul style="list-style-type: none"><li>• Please read the program guidelines and the applicant guidebook prior to completing the application.</li><li>• Please fill out the <b>entire</b> application form and ensure you attach the proper documents. See the checklist at the end of this application to ensure you submit the necessary documents. Applications will not be assessed until all required information is submitted.</li><li>• Projects requesting <b>more than \$250,000</b> from the Rural Growth Initiative are required to fill out Appendix A.</li><li>• If you have any questions, please contact the Community Development Officer in your region (contact information on p. 5).</li></ul> |  |                  |
| <b>PLEASE SELECT WHICH FUNDING STREAM YOU ARE APPLYING FOR (SELECT ONE):</b>  |  |                  |
| <div>Community Revitalization</div> <div>Community Capacity Building</div>  |  |                  |
| <b>APPLICANT INFORMATION</b>  |  |                  |
| Organization Name ( <i>Legal operating name</i> ):  |  |                  |
| Mailing Address:  |  |                  |
| Phone Number:   |  | E-mail:          |
| HST Number:   |  | HST/GST Rebate % |
| <b>Primary Contact Information</b><br>(this should be the person who will oversee the project and be able to answer any questions concerning project activities):   |  |                  |
| Name:   |  | Title/Position:  |
| E-mail:   |  | Phone:           |
| <b>Secondary Contact Name:</b><br>(this should be the person able to answer questions about the project if the primary contact is unavailable)  |  |                  |
| Name:   |  | Title/Position:  |
| E-mail:   |  | Phone:           |
| <b>Organization Overview</b>  |  |                  |
| What year was your organization established?  |  |                  |
| How many volunteers/members are involved with the organization?   |  |                  |
| Applicant Profile - Please include a short description about your organization such as its history, mission and activities.   |  |                  |



## Rural Growth Initiative Application Form 2025-26

### PROJECT INFORMATION

Project Title:

Project Location Address:

Expected Start Date:

Expected Completion Date:

Requested Funding:

Project Overview: Please answer the following questions. You may attach separate documentation if space insufficient.

Provide a brief description of the project

For projects requesting *COMMUNITY CAPACITY* funding only: How will the project *increase long-term community capacity* to provide services that strengthen and/or enhance rural communities

For projects requesting *COMMUNITY REVITALIZATION* funding only: How will the project *increase or maintain access* to services that your organization offers or plans to offer?





## Rural Growth Initiative Application Form 2025-26

**For projects requesting Community Revitalization funding ONLY:**

Please describe how the end-product of the project will be maintained AFTER the project. This includes who will be responsible for maintaining the end products and how they will be financed long-term. You may attach additional documentation to support your response such as an operational plan. Please reference these documents in your response below.

**For projects purchasing or constructing equipment that will result in electric or heating energy efficiency ONLY**

Was an energy audit completed?    Yes    No

Date of last energy audit completed: \_\_\_\_\_

***Please attach energy audit to application.***

Note: If you will be applying for an efficiencyPEI rebate as part of your project, you may be required to complete an energy audit. Please be in touch with efficiencyPEI.

**Project Timeline:** Please name when major project milestones or outcomes are planned to be completed. You may attach a separate project timeline if space is insufficient.

| <i>Project Milestone/Outcome:</i> | <i>Date of completion:</i> |
|-----------------------------------|----------------------------|
|                                   |                            |
|                                   |                            |
|                                   |                            |
|                                   |                            |
|                                   |                            |
|                                   |                            |

**FOR PROJECTS REQUESTING FUNDING GREATER THAN \$250,000, APPLICANTS ARE REQUIRED TO FILL OUT  
APPENDIX A FOUND AT THE END OF THIS APPLICATION.**

### AUTHORIZED SIGNING OFFICERS

Please provide signatures below for individuals authorized to sign agreements, amendments and financial claim forms.

| Name | Title/Position | Signature |
|------|----------------|-----------|
| 1.   |                |           |
| 2.   |                |           |
| 3.   |                |           |
| 4.   |                |           |

# Rural Growth Initiative Application

## Form 2025-26

## PROPOSED PROJECT EXPENDITURES

*If space not sufficient, please attach separate budget to application*

| Item  | Vendor and/or Quote Number | Estimated Amount |
|-------|----------------------------|------------------|
|       |                            |                  |
|       |                            |                  |
|       |                            |                  |
|       |                            |                  |
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|       |                            |                  |
|       |                            |                  |
|       |                            |                  |
| TOTAL |                            |                  |

ALL QUOTES MUST BE ATTACHED TO THE APPLICATION

## PROJECT CONTRIBUTORS

Please name ALL potential sources of funding for your project (including funds requested from the Rural Growth Initiative). Please attach verification of funding to application. If space insufficient, a separate list can be attached to the application.

| Source  | Amount | Is amount confirmed (select one)? |         |
|---|--------|-----------------------------------|---------|
|   |        | Confirmed                         | Pending |
| Rural Growth Initiative   |        |                                   |         |
| Applicant Contribution  |        |                                   |         |
|   |        |                                   |         |
|   |        |                                   |         |
|   |        |                                   |         |
|   |        |                                   |         |
|   |        |                                   |         |
|   |        |                                   |         |
| <b>TOTAL (must equal total proposed project expenditures from p. 3)</b> |        |                                   |         |



# Rural Growth Initiative Application Form 2025-26

## APPLICANT CHECKLIST

Applications will be reviewed for completion and assessed based on the program guidelines. *Applications will not be assessed until all necessary documentation is received.* Please review the checklist below to ensure your application is not delayed due to missing information. *Please note that additional information may be required for some projects.*

- Project Quotes (i.e. quotes from contractors)
  - Note: Projects with heat pumps must be installed by a contractor on efficiencyPEI's Network of Excellence list. Heat Pumps must also be NEEP certified and listed under the NEEP database found at: <https://ashp.neep.org/#/>
- Proof of applicant's portion of project costs (i.e. bank statements)
- Proof of funding agreements with other project contributor(s) (i.e. ACOA agreement)
- Commercial General Liability Insurance - Certificate of Insurance showing \$2 million minimum and PEI Government as an additional insured (PEI Government Address: PO Box 2000 Charlottetown PE C1A 7NA)
- Board of Directors/Council resolution supporting project (i.e. meeting minutes)
- Declaration of Tax Status Form – If the grant request is over \$10,000, please note Section 4 a) and b) on the Form.
- Proof of PEI Incorporated Status (CRA Business or Charitable Tax Number).
- **If applicable:**
  - Appendix A (For projects requesting \$250,000 in funding or more only)
  - Copy of Energy Audit
  - Relevant Building Permits
  - Description of Environmental Assessments taken
  - Strategic, business, operational, or building plans relevant to project
  - If requesting Reception Centre Resiliency Funds only: Confirmation that the center for which designated reception centre PEI Emergency Measures Organization.

## DECLARATION

I hereby declare that all information contained in and/or attached to this application is true, complete and accurate.

| Applicant Name (Print) | Title/Position | Signature | Date |
|------------------------|----------------|-----------|------|
|                        |                |           |      |
|                        |                |           |      |
|                        |                |           |      |

## CONTACT INFORMATION

If you have any questions about your application or for more information about the Rural Growth Initiative or other programs delivered by Rural and Regional Development please contact the Community Development Officer in your region.

| Area                       | Name            | Phone        | E-mail   |
|----------------------------|-----------------|--------------|--|
| West Prince                | Ellen Rennie    | 902-853-0104 | <a href="mailto:emrennie@gov.pe.ca">emrennie@gov.pe.ca</a>       |
| East Prince/Central Queens | Kellie Mulligan | 902-887-3975 | <a href="mailto:kamulligan@gov.pe.ca">kamulligan@gov.pe.ca</a>   |
| Evangeline (Bilingual)     | Giselle Bernard | 902-854-3680 | <a href="mailto:gbbarnard@gov.pe.ca">gbbarnard@gov.pe.ca</a>     |
| Southern Kings/Queens      | Sonia Dixon     | 902-838-0618 | <a href="mailto:sddixon@gov.pe.ca">sddixon@gov.pe.ca</a>         |
| Eastern Kings              | Chris Blaisdell | 902-208-0032 | <a href="mailto:cwblaisdell@gov.pe.ca">cwblaisdell@gov.pe.ca</a> |

PLEASE SUBMIT COMPLETED APPLICATIONS TO THE COMMUNITY DEVELOPMENT OFFICER IN YOUR REGION



## Rural Growth Initiative Application Form 2025-26

### APPENDIX A

*To be filled out for projects requesting funding greater than \$250,000*

#### REGIONAL BENEFITS

Please describe the regional benefits your project will result in. This could include how the project will result in partnerships with other groups or have positive impacts on communities beyond the one where your organization is located.

You may attach separate documentation to support your response. Please reference these documents in the below space.

#### COMMUNITY CONSULTATION:

Please describe the type of community consultations conducted that resulted in support for your project. This could include holding a community meeting, conducting a strategic planning process with community members, or some other assessment process.

You may attach separate documentation to support your response. Please reference these documents in the below space.



## Rural Growth Initiative Application Form 2025-26

### PROJECT MANAGEMENT

Please answer the following questions. If you have a separate project management plan, you may attach it to the application to supplement your responses.

Who will be the main project manager? What are their responsibilities?

Please use the space below to identify the main project risks and how will these be mitigated throughout the project.

| Project Risk | Mitigation Strategy |
|--------------|---------------------|
|              |                     |
|              |                     |
|              |                     |
|              |                     |
|              |                     |
|              |                     |

*PLEASE ATTACH PROJECT DESIGN PLANS IF APPLICABLE*

## Town of Kensington - Request for Decision

|  |   |
|--|---|
| <b>Date:</b> June 9, 2025  | <b>Request for Decision No:</b> 2025-25<br><b>(Office Use Only)</b> |
| <b>Topic:</b> Reallocation of Canada Community Building Fund Project – Playground Infrastructure   |   |
| <b>Proposal Summary/Background:</b> <p>The Town of Kensington previously submitted a project application under the Canada Community Building Fund (CCBF) for upgrades to the existing playground infrastructure located at Roy Paynter Park. Since that time, Town Council has reconsidered the long-term recreational priorities of the community and has resolved to pursue the development of a brand new playground facility at Centennial Park instead.</p> <p>This proposed shift reflects a broader strategy to enhance recreation infrastructure in a more centralized, accessible location with greater public visibility and potential for multi-use activity.</p> <p>The Rural Municipality of Malpeque are intent on committing a contribution of \$75,000 from their own CCBF allocation to assist in funding the new Centennial Park project.</p> <p>This Request for Decision seeks Council’s authorization to:</p> <ol style="list-style-type: none"><li>1. Withdraw and delete the Roy Paynter Park Upgrades project from the Town’s current CCBF Capital Investment Plan;</li><li>2. Approve and submit a new project application under the CCBF for the development of a new playground at Centennial Park; and</li><li>3. Authorize the receipt of \$75,000 in inter-municipal CCBF funding from the Rural Municipality of Malpeque.</li></ol> |   |
| <b>Benefits:</b> <ul style="list-style-type: none"><li>• Enhanced recreational infrastructure at a more central and accessible location.</li><li>• Stronger alignment with Council’s vision for community growth.</li><li>• Opportunity to deliver a higher-quality project through inter-municipal cost sharing.</li><li>• Reinforces Kensington’s role as a recreational hub for the surrounding region.</li></ul>   |   |

**Disadvantages:**

- No significant disadvantages are identified.
- Minor administrative delay resulting from the withdrawal and re-submission of the CCBF application.

**Discussion/Comments:**

In assessing the Town's current and future recreational infrastructure needs, Council identified Centennial Park as a more strategic location for significant playground investment. Its central location, adjacency to other community amenities (swimming pool, proposed splash pad), and higher visibility make it more suitable for the level of investment envisioned.

Roy Paynter Park will continue to serve as a community space; however, the site has spatial and accessibility limitations that reduce its potential as a long-term playground hub. The opportunity to redirect funding toward a new playground at Centennial Park enables the Town to meet the needs of a broader user base, while also maximizing the value and impact of the investment.

The Rural Municipality of Malpeque's contribution to the Centennial Park project represents a positive example of regional collaboration, acknowledging that many of their residents also use recreational amenities within Kensington. The joint funding approach aligns with the intent of the Canada Community Building Fund, which encourages inter-municipal cooperation and strategic infrastructure investments that benefit broader communities.

Staff have confirmed that the proposed reallocation is permissible within the guidelines of the CCBF program and have initiated preliminary discussions with program administrators to facilitate a smooth transition between the original and revised projects.

Brief Project Summary of Centennial Park Playground project (from project application):

*"The project consists of the construction of a new playground within Centennial Park, located in the centre of the Town of Kensington. The playground will feature a variety of modern play equipment designed to engage children of different age groups and encourage outdoor activity. Centennial Park was selected for its central location, high visibility, and close proximity to other community amenities, making it a natural gathering place for residents and visitors alike."*



*The scope of the project is to complete site preparation, supply and install new playground equipment, and undertake associated improvements such as surfacing, landscaping, benches, and signage. The work will also include the development of pathways and connections within the park to ensure the playground is well integrated into the overall green space. All equipment and materials will be selected with durability, safety, and long-term maintenance in mind.*

*The aim of the project is to enhance the recreational offerings within the Town of Kensington by creating an inviting and engaging space for children and families. The playground will serve as a destination within Centennial Park, encouraging physical activity, social interaction, and community use of public space throughout the seasons.”*

**Options:**

1. Approve the recommended resolutions to proceed with the revised project scope, updated application, and acceptance of external funding support.
2. Maintain the original project at Roy Paynter Park.
3. Refer the matter back to staff for further deliberation.

**Costs/Required Resources:**

\$ 140,669.10

**Source of Funding:**

Town of Kensington – DA-CCBF  
Rural Municipality of Malpeque – CCBF

**Recommendation:**

That Town Council approve the withdrawal of the Roy Paynter Park project from the CCBF Capital Investment Plan, authorize the submission of a new application for the development of a new playground at Centennial Park, and formally approve the receipt of \$75,000 in funding from the Rural Municipality of Malpeque in support of the revised project.

***Resolutions:***

***Withdrawal of Roy Paynter Park Project***

***BE IT RESOLVED THAT Kensington Town Council hereby authorizes the withdrawal of the previously approved and submitted Canada Community Building Fund (CCBF) project for the upgrades to the Roy Paynter Park Playground and further directs staff to delete the project from the Town's active CCBF Capital Investment Plan.***

**Submission of New CCBF Project for Centennial Park**

***BE IT RESOLVED THAT Kensington Town Council hereby approves the development of a new playground at Centennial Park and authorizes the submission of a revised project application under the Canada Community Building Fund (CCBF) to reflect this change.***

***BE IT FURTHER RESOLVED THAT the Chief Administrative Officer be authorized to take all necessary steps to complete and submit the revised application and associated documentation.***

**Receipt of Inter-Municipal CCBF Funding**

***BE IT RESOLVED THAT Kensington Town Council hereby authorizes the receipt of a \$75,000 contribution from the Rural Municipality of Malpeque's Canada Community Building Fund allocation toward the development of the Centennial Park Playground project.***

***BE IT FURTHER RESOLVED THAT the Town of Kensington acknowledges and accepts full responsibility for the management, reporting, and completion of the project in accordance with the terms and conditions of the CCBF program.***



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# **Canada Community Building Fund Capital Investment Plan Application**

## **CCBF-DA-CIP**

## **CCBF-NA-CIP**

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Please Prepare a Separate Capital Investment Plan  
(CIP) Application for Each Project

|                       |                            |
|-----------------------|----------------------------|
| <b>Project Title:</b> | Centennial Park Playground |
|-----------------------|----------------------------|

## 1. Contact Information

|   |  |
|---|--|
| <b>Rural Municipality/Town/City of:</b> | Kensington   |
| <b>Street Address/P.O. Box:</b>         | 55 Victoria Street East                                  |
| <b>Postal Code:</b>                     | COB 1M0  |
| <b>Municipal Tel:</b>                   | (902) 836-3781   |
| <b>Municipal Email:</b>                 | <a href="mailto:cao@kensington.ca">cao@kensington.ca</a> |
| <b>Contact Name:</b>                    | Geoff Baker  |
| <b>Official Title:</b>                  | Chief Administrative Officer                             |

## 2. Eligible Project Categories

|                          |                             |
|--------------------------|-----------------------------|
| <b>Project Category:</b> | Recreational Infrastructure |
|--------------------------|-----------------------------|

## 3. Project Information

|   |              |                     |         |
|---|--------------|---------------------|---------|
| <b>Brief Project Description</b> (Short description of the issue and physical work required to resolve issue):  |              |                     |         |
| <p>The project consists of the construction of a new playground within Centennial Park, located in the centre of the Town of Kensington. The playground will feature a variety of modern play equipment designed to engage children of different age groups and encourage outdoor activity. Centennial Park was selected for its central location, high visibility, and close proximity to other community amenities, making it a natural gathering place for residents and visitors alike.</p> <p>The scope of the project is to complete site preparation, supply and install new playground equipment, and undertake associated improvements such as surfacing, landscaping, benches, and signage. The work will also include the development of pathways and connections within the park to ensure the playground is well integrated into the overall green space. All equipment and materials will</p> |              |                     |         |
| <b>Project Location(s) (Street Address and/or PID):</b>   |              |                     |         |
| Centennial Park - 25 School Street - PID No. 79525  |              |                     |         |
| <b>Municipality:</b>  | Kensington   | <b>Postal Code:</b> | COB 1M0 |
| <b>Signed &amp; Sealed Council Resolution Mailed?</b>   |              | Yes                 |         |
| <b>Date of Resolution:</b>  | June 9, 2025 |                     |         |

4. Estimated Eligible Costs (do not include taxes, they will calculate automatically)

| Cost Breakdown              |            | Amount       |
|-----------------------------|------------|--------------|
| 1. Design/Engineering       |            | \$15,000.00  |
| 2. Construction/Demolition  |            | \$92,881.00  |
| 3. Contingency              |            | \$20,000.00  |
| 4a. Other (Please Specify): |            |              |
| 4b. Other (Please Specify): |            |              |
| 4c. Other (Please Specify): |            |              |
| 5. Subtotal                 |            | \$127,881.00 |
| 6. Total HST                |            | \$19,182.15  |
| 7. Minus HST Rebate         | \$6,394.05 | \$12,788.10  |
| 8. Total Eligible Costs     |            | \$140,669.10 |

5. Proposed Project Financing

| Year    | Estimated Eligible Project Costs* | MSC Funding Requested | DA/NA CCBF Funding | Applicant's Funding | Other       |
|---------|-----------------------------------|-----------------------|--------------------|---------------------|-------------|
| 2024/25 | \$140,669.10                      |                       | \$52,881.00        |                     | \$87,788.10 |
| 2025/26 |                                   |                       |                    |                     |             |
| 2026/27 |                                   |                       |                    |                     |             |
| 2027/28 |                                   |                       |                    |                     |             |
| 2028/29 |                                   |                       |                    |                     |             |
| TOTALS  | \$140,669.10                      | \$0.00                | \$52,881.00        | \$0.00              | \$87,788.10 |

## 6. Proposed Sources of Funding

| Project Funding Sources   | Confirmed? | Amount              |
|---|------------|---------------------|
| CCBF Direct/Notional Allocation                                       | No         | \$52,881.00         |
| Applicant's Share   |            |                     |
| Other Provincial Source (Specify the Program Below)<br>" MCEG         |            | \$12,788.10         |
| Other Federal Source (Specify the Program Below)<br>"                 |            |                     |
| Other (Specify the Program Below)<br>" Rural Municipality of Malpeque |            | \$75,000.00         |
| <b>Total</b>  |            | <b>\$140,669.10</b> |

Projects involving funding from other sources require confirmation that the funding has been approved, or is under consideration. Provide at the time of submission of CIP.

## 7. Project Timelines

| Activity   | Start Date         | Completion Date  |
|--|--------------------|------------------|
| Tender or Request for Quotation Date                 | September 15, 2025 | October 30, 2025 |
| Tender or Request Award Date                         | November 10, 2025  |                  |
| Design/Engineering Date                              | June 30, 2025      | August 31, 2025  |
| Other (Specify Below)<br>" Installation/Construction | May 1, 2026        | June 15, 2026    |
| Expected Project Start and Completion Dates          | June 30, 2025      | June 15, 2026    |

## 8. Housing - Project Level Reporting Identification

Ultimate Recipients with a population of 30,000 or more and have identified housing pressures that can be addressed through closing infrastructure gaps or capacity building, must fill out the table below:

| UR Name<br>(Municipality) | Project Level Reporting Criteria                          | Key Infrastructure-Related Housing Pressures - Identify key housing gaps and needs related to Infrastructure. |
|---------------------------|---|---|
|                           | Municipal population >30,000 as per the 2021 Census data. |   |

**Recipients with a population of 30,000 or more must complete APPENDIX A of this Capital Investment Plan form. Recipients are also required to complete a Housing Needs Assessment by March 31, 2025.**

**9. Please select all applicable outcomes below. You do not need to provide the actual data until the project is completed.**

## Schedule H Indicators and Outcomes

[illegible]

## 9. Program Requirements

The following are requirements of the program:

|   |     |
|---|-----|
| Application includes signed & sealed Council Resolution supporting the application                  | Yes |
| Application includes approval from Council if any municipal funds are to be spent                   | Yes |
| Applicant accepts responsibility for the project's ongoing operations and maintenance costs         | Yes |
| Applicant agrees to purchase and install signage when required through communications               | Yes |
| Applicant agrees to participate in Province-wide Asset Management Program                           | Yes |
| Applicant confirms that an auditor has been hired or arrangements have been made to hire an auditor | Yes |
| Applicant confirms that the proper budgetary process has been followed for this project             | Yes |
| Applicant confirms that the project has not been awarded or started                                 | Yes |

## 10. Capital Investment Plans returned to:

After filling out the application in Excel, save it and email it to the following email address:

[CPEI-Infrastructure@gov.pe.ca](mailto:CPEI-Infrastructure@gov.pe.ca)

Please also send a signed and sealed copy in the mail to the following address (or hand deliver):

Infrastructure Secretariat  
P.O. Box 2000, Charlottetown, PE C1A 7N8

The Council of the **City/Town/Rural Municipality of:** Kensington  
does hereby submit this application to the Direct Allocation/Notional Allocation Capital Investment Plan  
Fund, which has been approved at a Council meeting dated June 9, 2025

In providing this submission, the Council declares that the above is, to the best of its  
knowledge and belief, true in substance and in fact.

\_\_\_\_\_  
MAYOR/CHAIR (Sealed signature)

\_\_\_\_\_  
Date

\_\_\_\_\_  
CHIEF ADMINISTRATIVE OFFICER (Sealed Signature)

\_\_\_\_\_  
Date



## Town of Kensington - Request for Decision

|   |   |
|---|---|
| <b>Date:</b> June 9, 2025   | <b>Request for Decision No:</b> 2025-26<br><b>(Office Use Only)</b> |
| <b>Topic:</b> Rural Beautification Society Annual Sponsorship   |   |
| <b>Proposal Summary/Background:</b> <p>A request has been received from the Prince Edward Island Rural Beautification Society requesting Town Council's consideration for sponsorship for 2025. The Town has sponsored the Rural Beautification Society in each of the past 3 years at \$1,000 (major sponsor level).</p> <p>The PEI Rural Beautification society has a long history of promoting community pride and rural beautification across PEI. The organization encourages property improvements, landscaping, and overall rural aesthetics through contests and awards that highlight the value of well-maintained properties.</p> <p>The Town's past contributions have helped support the Society's operational efforts and award programs and have been acknowledged in their public materials.</p> |   |
| <b>Benefits:</b> <ul style="list-style-type: none"><li>• Will aid the PEI Rural Beautification Society in encouraging Islanders to enhance and improve the rural landscape of PEI.</li></ul>  |   |
| <b>Disadvantages:</b> <ul style="list-style-type: none"><li>• No significant disadvantages are noted.</li></ul>   |   |
| <b>Discussion/Comments:</b> <p>The Town up until 2019 provided an annual sponsorship to the Rural Beautification Society of \$300.00 per year. No sponsorship was made in 2020 or 2021 (presumably because of the COVID-19 pandemic). In each of 2022, 2023, and 2024 the Town became a major sponsor in the amount of \$1,000 per year.</p>  |   |

**Options:**

1. Approve a \$1,000 sponsorship.
2. Approve a sponsorship of a different amount.
3. Not approve sponsorship.

**Costs/Required Resources:**

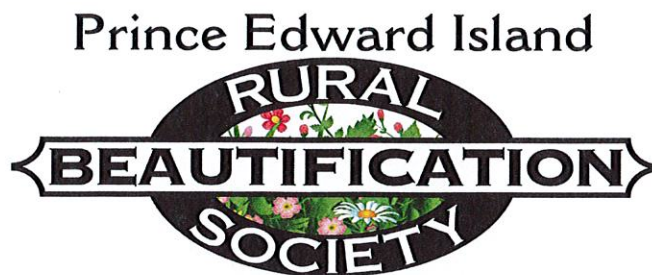
TBD

**Source of Funding:**

General Government - Donations

**Recommendation:**

It is recommended that Town Council consider the sponsorship request and authorize the CAO accordingly.



Jeff Spencer - Mayor  
Town of Kensington  
PO Box 418  
Kensington, PE  
COB 1M0

Dear Jeff,

Thank you again for your kind sponsorship of \$1,000. We were very pleased to have you as a Major Sponsor.

Since 1945, the Prince Edward Island Rural Beautification Society has been recognizing Islanders for enhancing the rural landscape of our beautiful province. Our organization offers various competitions and prizes are awarded in each county with the judge's overall winners capturing the Annual Provincial Awards. Every year, we present \$15,000 in prize money and prize winners are invited to our Annual Awards Ceremony, where they receive their well-deserved recognition.

As you can imagine, it takes a great deal of funds to make all of this happen. In the past, we have had tremendous support from the corporate community, and we are hopeful that you will remain on our list of sponsors. **We will send an invoice with payment not required until August 01, 2025.** We are a registered "Not for Profit Charity," and we will provide a charitable tax receipt for your donation.

We believe our combined efforts are truly making a difference in the rural landscape of Prince Edward Island and we are grateful for your continued support.

Regards,

Janet Cotton  
Board Member  
PEI Rural Beautification Society  
902-886-2528  
bjcott@pei.sympatico.ca

*When Cheque is ready please  
phone me at 902-886-2528.  
Thanks, Janet*

# Prince Edward Island



## 2025 Sponsorship Agreement

**There are four levels of sponsorship. We don't need to receive payment today. All we need is your commitment to support.  
We will send an invoice with payment not due until August 01, 2025**

**Please confirm your sponsorship by contacting:**

**Glenn Holmes - Executive Director  
rglennholmes@outlook.com / 902-393-6967**

**or you can complete this Sponsorship Agreement and mail to:**

**PEI Rural Beautification Society  
PO BOX 1194  
Charlottetown, PE  
C1A 7M8**

**Business Name** \_\_\_\_\_

**Contact** \_\_\_\_\_ **Phone** \_\_\_\_\_ **Cell** \_\_\_\_\_

**Address** \_\_\_\_\_

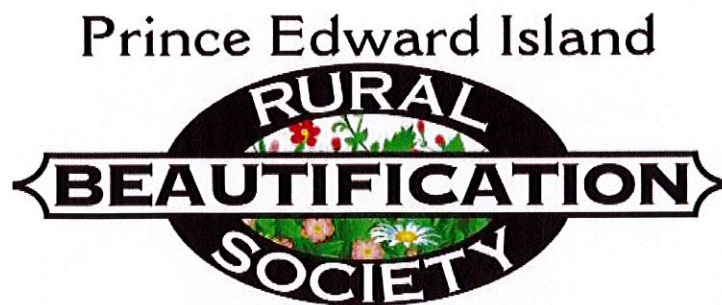
**Email** \_\_\_\_\_ **Sponsorship Amount \$** \_\_\_\_\_

### **SPONSORSHIP LEVEL**

- \_\_\_ **Bronze Sponsor (up to \$249) - 2 tickets to Awards Ceremony**
- \_\_\_ **Silver Sponsor (\$250-\$499) - 2 tickets to Awards Ceremony**
- \_\_\_ **Gold Sponsor (\$500-\$999) - 2 tickets to Awards Ceremony**
- \_\_\_ **Major Sponsor (\$1000+) - 2 tickets to Awards Ceremony and your company logo on the front cover of the Competition Book and Awards Ceremony Program.**

**\*All sponsors/donors confirmed at the time of printing, will be listed in the  
PEI Rural Beautification Competition Book & Awards Dinner Program.  
Charitable receipts issued for all sponsorships.**





***We gratefully acknowledge the support from the following sponsors.***

**Bronze Sponsors**

*Island Coastal Services, Centennial Auto Group, Lawns & Beyond,  
VanKampen's Greenhouse, Kelvin Grove Women's Institute, Family of Nina Crozier,  
Ron Barrett - Century 21 Northumberland Realty, Tignish Community Relations, Phillips Auto Sales,  
Knutsford Women's Institute, Toombs Plumbing & Heating, Jewel's Country Market,  
Brackley Beach Women's Institute, Todd Murphy Transport, Sharpe Construction, Sterling Women's Institute,  
Maritime Electric, Vernon & Bertha Campbell, North Milton Women's Institute, Family of Leone Bagnall,  
New London Women's Institute, Locus Surveys, L & C Enterprises Inc., E&S Waugh Farms,  
Red Sands Golf Course, A&J Off-Road Trucking, The Medicine Shoppe-Alberton, R.A. Rose & Sons,  
Spring Valley Women's Institute, Kim & Betty Aitken, Harper Automotive, Nabuurs Gardens,  
Alisha MacKay – RE/MAX Harbourside Realty, DALMAC Print, Signs & Cresting, Sou' West Bar & Grill  
Griz Lee Bare Lawn Care, Clinton's Red Fox Inn, Toombs & MacDougall CPA Inc., Harper Automotive,  
Andrew Brown – Century 21 Realty, Blue Sky Greenhouse, Greg & Kathy Caseley, Copy Cats Print & Promotions,  
Paul Montgomery – RE/MAX Realty, Tignish Legion, Clinton Pond Bed & Breakfast.*

**Silver Sponsors**

*Spring Valley Building Centre, Monaghan Farms, Mid Isle Farms, Kennedy Metals,  
Robin Aitken-Cox & Palmer, John & Barb Scales, Reta MacDonald, Town of Stratford,  
Town of Souris, Town of O'Leary, Kenmac Energy, Orwell Bay Farms, Ron Dowling & Donna Birch,  
Kevin & Susan Simmons, Kensington Agricultural Services, Branch Manager,  
Tourism Industry Association of Prince Edward Island, Souris Credit Union, Holmes Construction.*

**Gold Sponsors**

*Belvedere Funeral Home, Family of Keith & Jean Pickard, PEI Women's Institute,  
Prince Edward Aqua Farms, Provincial Credit Union, Judy Profitt.*

**Major Sponsors**

*Catherine Callbeck Endowment Fund, Veseys Seeds, Twin Shores Camping Area,  
Master Packaging, Innovation PEI, Island Waste Management Corporation, Ellen & Barry Cudmore,  
Kool Breeze Farms, PEI Mutual Insurance, Brian & Sheryll Pound, Town of Kensington.*

## Town of Kensington - Request for Decision

|  |   |
|--|---|
| <b>Date:</b> June 9, 2025  | <b>Request for Decision No:</b> 2025-27 |
| <b>Topic:</b> Community Safety Net – Partners in Safety – Request for Financial Support  |   |
| <b>Proposal Summary/Background:</b> <p>The Kensington Police Service is once again seeking the Town’s support in partnering with Community Safety Net to provide a drug safety book for youth attending Queen Elizabeth Elementary School. This initiative has been supported by the Town for approximately the past 13 years and aims to educate children about the dangers of drug use while also equipping parents with strategies to help keep their children safe.</p> <p>The book is part of a broader safety initiative and includes access to the Kensington Safety App, which features general safety information, safety videos, and interactive content for youth. The app and additional information about the initiative can be accessed at:</p> <p><a href="http://www.communitysafetynet.com/leaders/kensington-police-service/">www.communitysafetynet.com/leaders/kensington-police-service/</a></p> <p>In 2024, the Town supported the initiative by sponsoring 60 children at a cost of \$16 per book, for a total contribution of \$960. The number of books made available to students depends on the level of financial support received from local businesses and organizations. A list of typical local sponsors is attached for Council’s reference. The cost in 2025 is again \$16 per book and the request for 2025 is that the Town consider sponsoring 80 children (\$1,280).</p> |   |
| <b>Benefits:</b> <ul style="list-style-type: none"><li>• Will provide important drug safety information to local youth.</li><li>• Will assist the Kensington Police Service in their fight against drugs locally.</li></ul>  |   |
| <b>Disadvantages:</b> <ul style="list-style-type: none"><li>• No significant disadvantages are noted.</li></ul>  |   |

**Discussion/Comments:**

The initiative continues to align with the Town's commitment to community safety, youth development, and support for the Kensington Police Service. By supporting this program, the Town contributes directly to a proactive approach in educating youth about drug safety in a format that is both accessible and engaging.

Town Council is asked to deliberate on the level of financial support it deems appropriate for the 2025 program year. No specific amount is being recommended in this request.

**Options:**

1. Approve a financial contribution to the Community Safety Net drug safety book initiative in an amount deemed appropriate by Council.
2. Decline to provide financial support for the 2025 program year.
3. Refer the matter back to staff for further information.

**Costs/Required Resources:**

TBD

**Source of Funding**

General Government - Donations and Grants

**Recommendation:**

It is recommended that Town Council consider the information provided and determine the level of financial support, if any, it wishes to provide for the 2025 Community Safety Net initiative.

**Proposed Resolution**

***BE IT RESOLVED THAT Town Council provide financial support in the amount of \$\_\_\_\_\_ for the 2025 Community Safety Net Drug Safety Book initiative.***

**From:** Tisha Van Dusen <tvandusen@CommunitySafetyNet.Com>  
**Sent:** Monday, May 26, 2025 11:26 AM  
**To:** cao@kensington.ca  
**Subject:** Help kids now in Kensington

Hi Geoff,

The Kensington Police Service is conducting an important Safety initiative for kids in Kensington. This involves the whole community and is made possible with the help of local supporters, like you.

The investment is only 16 dollars per child. Last time Town of Kensington supported 60 kids. Can you help 80 kids for 1280 dollars this year?

Click on the link below to learn what Police Chief Landon Yuill is doing to protect the kids in Kensington, including the option to support online.

[www.communitysafetynet.com/leaders/kensington-police-service/](http://www.communitysafetynet.com/leaders/kensington-police-service/)

**Previous "Partners in Safety"**

Anne of Green Gables Museum  
Art Gallery of Tony Diodati  
Bell's Service Center  
Big Dog Convenience New Annan  
Building Blocs Home Improvement Inc.  
Burlington Adrenaline Park  
Cavendish Agri Services Ltd. - Kensington  
Clark Fuel Saver  
Coles' Mussel Farms Ltd.  
Commercial Construction Ltd.  
Eastern Fiberglass Ltd.  
French River Golf Course  
Graham's Deep Sea Fishing  
Haunted Mansion  
Island Softeners Ltd.  
Karen's Barber Shop  
Kensington & Area Chamber of Commerce  
Kensington Agricultural Services Ltd.  
Kensington Country Store  
Kensington Food Basket  
Kensington Lions Club  
Kensington Police Service  
Kensington United Church  
Kent Building Supplies - Kensington  
Lyman Paynter  
MacPhee's Metal Roofing  
Malpeque Oyster Barn  
Mary's Bake Shoppe  
McLean's Lawn & Tree Care  
Mid-Isle Electric Ltd.  
Mike's Independent  
Moase Plumbing & Heating Ltd.  
Monaghan Farms Ltd  
Mountain Woodworking  
Provincial Credit Union - Kensington  
Royal Canadian Legion Branch 9  
Safe Drivers PEI



Sew Blessed Quilters  
Sharpe Construction Ltd.  
Sherry's Heating Service  
Ship To Shore Restaurant  
Thompson Well Drilling & Geothermal Ltd.  
**Town of Kensington**  
Traveller's Rest Mini Homes Ltd.  
Valley Truss & Metal / Vicwest

Yours in Safety,

**Tisha Van Dusen**  
Safety Coordinator

**Community Safety Net**  
1.800.665.6167



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**Protecting kids for LIFE!**

**[www.communitysafetynet.com](http://www.communitysafetynet.com)**

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**cao@kensington.ca**

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**From:** Kevin Gallant <kevingallant@gov.pe.ca>  
**Sent:** Monday, May 26, 2025 2:13 PM  
**To:** cao@kensington.ca  
**Subject:** Town of Kensington - Annual Danny Hughes Ball Tournament

To Whom It May Concern,

This email is associated to the ongoing ball tournament that has been going on in our community for over 20 years.

We are requesting that the ball field fee be waived as this has been a non for profit event giving back to the community in form of scholarships/organizations etc.

As this has been a well support event with lots of volunteers and local businesses we are requesting that event be considered "Grandfather" in waiving the fee's.

Your truly,  
Kevin Gallant

**From:** lyuill@kensington.ca  
**Sent:** Monday, June 2, 2025 8:24 AM  
**To:** jspencer@kensington.ca  
**Cc:** cao@kensington.ca  
**Subject:** Fishing Derby

Good morning Your Worship,

I wanted to extend my sincere thanks to you and Council for your support in this year's Fishing Derby. This was my first time organizing the event as Chief, and while there were some changes from previous years, the event was a great success with over 200 people in attendance and 120 children registered.

Your support and that of Council played a big role in making the day a success. I would be grateful if you could pass along my thanks to all the councillors for their contributions and assistance.

I look forward to continuing this momentum with the upcoming Bicycle Rodeo at the end of the month.

Warm regards,

Landon Yuill, CD

Chief of Police

Kensington Police Service

**From:** lyuill@kensington.ca  
**Sent:** Friday, May 23, 2025 8:22 AM  
**To:** cao@kensington.ca  
**Subject:** Appreciation for Support with Sextortion Presentation

Good morning Geoff and Wes,

On Tuesday evening, Kensington Police Service hosted a community presentation on sextortion at the Credit Union Centre. Carl Burke joined our officers to share the heartbreaking story of his son's passing as a result of sextortion. This powerful presentation had originally been scheduled to take place at KISH. Unfortunately, on Friday, Principal Donald Mulligan made the decision that it would be too traumatic for Mr. Burke to speak at the school.

With very little time, we had to quickly find a new venue and notify the public to ensure this important message still reached our community. The Murray Christian Centre was already booked, but Matt Crozier suggested the rink as an alternative, given its space and accessibility. I reached out to Graham, who was incredibly supportive and immediately offered us use of the facility.

I want to specifically recognize both Graham and Robert for going above and beyond. They set up the microphone, stage, and chairs, made themselves available throughout the evening, and even helped promote the event on social media. Their efforts were instrumental in making the event a success.

Councillors MacRae and Mann were also in attendance and played an active role by helping hand out pamphlets and supporting our outreach efforts. Their presence and involvement were greatly appreciated.

This is just one more example of the strong relationships between the police service, town staff, and council, and why it's so meaningful to be part of the Kensington community. We had approximately 50 residents attend, and the feedback has been overwhelmingly positive—with several people asking when the next presentation will be.

Sadly, our youth are not immune to these crimes. The more we can educate the public, the better chance we have of preventing future tragedies.

Thank you both, and I hope you have a great weekend.

Best regards,

Landon