

Agenda for Regular Meeting of Town Council

Monday, June 9th, 2025 @ 7:00 PM

55 Victoria Street Kensington, PEI COB 1M0 Phone: (902) 836-3781

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Please ensure all cell phones and other electronic devices are turned off or placed on non-audible mode during the meeting.

Town of Kensington Regular Meeting of Town Council Monday, June 9, 2025 – 7:00 PM

1.	Call t	o Order/Land Acknowledgement
2.	Adop	tion of Agenda (Additions/Deletions)
3.	Decla	ration of Conflict of Interest
4.	Deleg	ations, Special Speakers, and Public Input
5.	Adop	tion of Previous Meeting Minutes
	5.1	May 12, 2025, Regular Meeting
6.	Busin	less Arising from Minutes
	6.1	May 12, 2025, Regular Meeting
7.	Repo	rts
	7.1	Chief Administrative Officer Report
	7.2	Fire Department Report
	7.3	Police Department Report
	7.4	Development Permit Summary Report
	7.5	Bills List – Town - Nil
	7.6	Bills List - Water and Sewer Utility - Nil
	7.7	Bills List – Capital - <i>Nil</i>
	7.8	Consolidated Summary Income Statement -Town and Water and Sewer Utility Nil
	7.9	Credit Union Centre Report
	7.10	Mayor's Report

Federation of Prince Edward Island Municipalities Report – Councillor Mann

7.11

7.12 Kensington and Area Chamber of Commerce Report – Councillor MacRae

8. New Business

- 8.1 Request for Decisions
- 8.1.1 RFD2025-23 Development Permit Application Mobile Classroom at Queen Elizabeth Elementary School
- 8.1.2 RFD2025-24 PEI Rural Growth Initiative Capital Assistance Application
- 8.1.3 RFD2025-25 Reallocation of Canada Community Building Fund Project Playground Infrastructure
- 8.1.4 RFD2025-26 Rural Beautification Society Annual Sponsorship
- 8.1.5 RFD2025-27 Community Safety Net Partners in Safety Request for Financial Support
- 8.2 Other Matters
- 9. Correspondence
- 10. Committee of the Whole (In-Camera) One item under Section 119(1)(b) of the Municipal Government Act
- 11. Adjournment

Town of Kensington Minutes of Regular Council Meeting Monday, May 12, 2025 7:00 PM

Council Members Present: Mayor, Jeff Spencer; Depurty Mayor Rodney Mann;

Councillors: Wade Toombs, Ivan Gallant, Bonnie MacRae, and

Tyler Doucette

Staff Members Present: Acting CAO, Wes Sheridan; Manager of Finance Nancy

MacRae (Virtual attendance via Microsoft Teams)

Visitors: Nil

1. Calling of Meeting to Order

1.1 Mayor Spencer called the meeting to order at 7:00 PM and welcomed Council members, staff, and visitors to the April meeting of Kensington Town Council. Mayor Spencer acknowledged that the land on which we gather is the traditional and unceded territory of the Mi'kmaq First Nation.

2. Approval of Tentative Agenda

2.1 Moved by Councillor Gallant, seconded by Councillor Toombs to approve the tentative agenda for the May 12, 2025, regular meeting of Town Council.

Unanimously carried.

- 3. Declaration of Conflict of Interest
 - 3.1 Councillor Gallant declared a conflict with item 8.1.4 Kensington Pickleball Request
- 4. Delegations / Presentations
 - 4.1 Nil.
- 5. Approval of Minutes of Previous Meeting
 - 5.1 Moved by Councillor MacRae, seconded by Councillor Toombs to approve the minutes from the April 14, 2025 regular meeting of Town Council. Unanimously carried.
- 6. Business Arising from Minutes

6.1 April 14, 2025 Regular Meeting

6.1.1 *Nil*.

7. Reports

- 7.1 Chief Administrative Officer Report
 - 7.1.1 Moved by Councillor Gallant, seconded by Councillor Toombs to approve the May Chief Administrative Officer's Report, as prepared by Acting CAO, Wes Sheridan.
- 7.2 Fire Department Statistical Report
 - 7.2.1 Moved by Councillor Toombs, seconded by Councillor Gallant to approve the April 2025 Fire Statistical report as prepared by Fire Chief, Rodney Hickey. Unanimously carried.
- 7.3 Police Department Statistical Report
 - 7.3.1 Moved by Councillor MacRae, seconded by Councillor Toombs to approve the April 2025 Police Statistical Report as prepared by Chief Landon Yuill. Unanimously carried.
 - **7.3.2** Councillor Doucette inquired about the old police cruiser. The CAO indicated that the police department are currently assessing two options for the vehicle; providing it to the Atlantic Police Academy in exchange for training credits or utilizing it as an off-service vehicle to travel to meetings, court, etc.
- 7.4 Development Permit Summary Report
 - 7.4.1 Moved by Councillor Gallant, seconded by Councillor Toombs to approve the May 2025 Development Permit Summary Report as prepared by Municipal Clerk, Kim Caseley. Unanimously carried.
- 7.5 Bills List Town (General)
 - 7.5.1 *Nil*.
- 7.6 Bills List Water & Sewer Utility
 - 7.6.1 *Nil*.
- 7.7 Bills List Capital Expenditures

7.7.1 *Nil*.

7.8 Summary Income Statement

7.8.1 *Nil*.

7.9 Credit Union Centre Report

- 7.9.1 Moved by Councillor Toombs, seconded by Councillor MacRae to approve the Credit Union Centre report for the month of April 2025. Unanimously carried.
- **7.9.2** Councillor Gallant inquired about the status of the bleacher repairs and the repair of one net. The CAO indicated that staff had investigated the bleachers and completed repairs accordingly.

7.10 Mayor's Report

- 7.10.1 Moved by Councillor Toombs, seconded by Councillor MacRae to approve the Mayor's report for the month of April 2025 as presented by Mayor Spencer. Unanimously carried.
- **7.10.2** Mayor Spencer thanked the Queen Elizabeth Elementary School for the invitation to participate in the grades 4, 5, and 6 vote and the recent visit by the Easter Seals Ambassador.

7.11 Federation of PEI Municipalities (FPEIM) Report – Deputy Mayor Mann

- **7.11.1** Deputy Mayor Mann indicated that the Canoe Procurement Group are currently sourcing Canadian Vendors to aid in Municipal procurement processes.
- **7.11.2** The FPEIM are hosting two Leadership Workshops on Thursday, June 5th, facilitated by Governance Expert, Gordon McIntosh.

7.12 Kensington Area Chamber of Commerce (KACC) Report

- **7.12.1** The KACC Annual Presidents Casino Night held on April 25th at Clinton Hills was well attended by 75 to 80 people.
- **7.12.2** The KACC Trivia event was held on May 31 at the New London Community Complex.
- **7.12.3** The Open Members meeting was held on May 13th at the Indian River Festival Pavilion.

8. New Business

8.1 Request for Decisions

8.1.1 Development Permit Application - Island Structural Systems

8.1.1.1 Moved by Deputy Mayor Mann, seconded by Councillor Toombs

WHEREAS Island Structural Systems Inc. has been forced to purchase a 7th lot in our Business Park due to unforeseen circumstances, which impacts their budget for this development of this property;

AND WHEREAS Lot 25-1 was recently impacted by a new easement allowing a sewerage connection be run across the property for solid Town planning purposes;

AND WHEREAS the applicant has requested a reduction in purchase price on Lot 25-1;

BE IT RESOLVED THAT Kensington Town Council approve a \$10,000.00 reduction in price amounting to a final purchase price of \$115,000.00.

BE IT FURTHER RESOLVED THAT Kensington Town Council agree to extend the existing property tax incentive to pertain to the purchase of Lot 25-1.

8.1.1.1 Moved by Deputy Mayor Mann, seconded by Councillor Gallant

WHEREAS Island Structural Systems Inc. has submitted a revised Development Permit application for the construction of a 60' x 160' main building on PID No. 1164805 (Lot 25-1) in the Kensington Business Park;

AND WHEREAS the proposed use is permitted in the M1 – Industrial Zone under Section 5.5 of the Town of Kensington Land Use and Development Bylaw, and more than one main building is permitted on a lot under Section 3.15(1);

AND WHEREAS the proposed development complies with all applicable provisions of the Bylaw except for the required front yard setback under Section 5.6(1);

AND WHEREAS the applicant has requested a variance to reduce the front yard setback from 4.5 metres (14.8 feet) to 2.4 metres (8 feet), representing a variance of approximately 46% (6.8 feet), and Council

has the authority under Section 2.15(4) to approve such a variance where it is deemed desirable and appropriate;

AND WHEREAS Council acknowledges that the notification process outlined in Section 2.15(5) was not formally followed, but that staff have directly contacted the affected property owners within 150 metres, and no objections have been received;

BE IT RESOLVED THAT Kensington Town Council approve a variance under Section 2.15(4) of the Town of Kensington Land Use and Development Bylaw to reduce the required front yard setback for the proposed main building on PID No. 1164805 (Lot 25-1) from 4.5 metres (14.8 feet) to 2.4 metres (8 feet);

BE IT FURTHER RESOLVED THAT Kensington Town Council approve the revised Development Permit application submitted by Island Structural Systems Inc. for the construction of a 60' x 160' main building on PID No. 1164805 (Lot 25-1) subject to the following conditions:

- The consolidation of the subject lots into a single parcel.
- Submission and approval of a site drainage plan.

Unanimously carried.

8.1.2 2025 Queer Ride and Meet up Donation

Moved by Councillor Toombs, seconded by Councillor Doucette

BE IT RESOLVED THAT Kensington Town Council sponsor the PEI 2025 Queer Ride and Meet Up at the Destination Sponsor Level in the amount of \$480.00.

Unanimously Carried

8.1.3 2025 Exempt Staff Wage Increase

Moved by Councillor Doucette, Seconded by Councillor MacRae

BE IT RESOLVED THAT Town Council authorize the Chief Administrative Officer to provide a wage increase, effective April 1, 2025, to exempt staff including the Deputy Administrator/Finance Manager, Municipal Clerk, Administrative Assistant, Police Chief, Police Sargent, Public Works Supervisor, Credit Union Centre Manager, and Credit Union Centre Assistant Manager in an amount up to 2.7%, according to the Non-Union Employee Handbook.

Unanimously Carried.

Councillor Gallant declared a conflict of interest and left the chambers at 7:45 pm.

8.1.4 Kensington Pickleball Request

Moved by Councillor Toombs, seconded by Councillor Doucette

BE IT RESOLVED THAT Town Council not move forward with the funding request from the Kensington Pickleball Club.

Councilor Gallant returned to the Council Chamber at 8:00 pm.

8.2 Other Matters

- **8.2.1** Councillor MacRae asked when the Firemen's appreciation dinner was scheduled for. Mayor Spencer indicated that it is not currently scheduled and will reach out to the Fire Chief for proposed dates.
- **8.2.2** The Town clean-up has been rescheduled to May 17th from 9:00 am to 10:30 am.
- **8.2.3** An inquiry was made on the clothing donation boxes at the mailbox area of the Credit Union Centre. The CAO indicated that Mayor Spencer had contacted the owners of the bins and gave them until June 1st to have the bins removed.
- **8.2.4** Councillor MacRae requested that staff complete some upgrades around the pond area to improve the aesthetics of the area.
- **8.2.4** Councillor Gallant noted the upcoming election and encouraged residents to take part and represent their community.

8.2.5

9. Correspondence

- **9.1** Request from the Kensington Library regarding funding for a security system. *Denied*
- **9.2** Email from Central PEI Navigators regarding Philippine Independence Day *Received*
- **9.3** Email from Queen Elizabeth Hospital regarding the Town of Kensington's annual pledge of \$1000.

10. In-Camera (Closed session)

- 10.1 One item under 119(1)(b) of the Municipal Government Act, PEI.
 - 10.1.1 Moved by Councillor Toombs, seconded by Councillor MacRae to enter into an In-Camera session at 8:20 pm. Unanimously carried.
 - 10.1.2 Moved by Councillor Toombs, seconded by Councillor Gallant to come out of an In-Camera session at 9:21 pm. Unanimously carried.
- 10.1 Nil.
- 11. Adjournment

Moved by Councillor Toombs, seconded by Councillor Gallant to adjourn the meeting at 9:22 PM. Unanimously carried.

Geoff Baker
CAO

Jeff Spencer,
Mayor

Chief Administrative Officers Report

June 2025 - Council Meeting

1. Council By-Election

The Council By-Election was held on May 26, 2025, with Shawn McCarvill being elected as Councillor. Thank you to Paul Chessman for acting as the Municipal Electoral Officer, Wes Sheridan for acting as Returning Officer, and Amy Morell in the capacity of Poll Clerk. We are thankful to both candidates for putting their names forward and congratulations to Shawn on his election.

2. Sale of Business Park Lot

The sale of Lot 21-5 in the Kensington Business Park to Island Structural Systems (ISS) was finalized on May 23, 2025. We congratulate ISS on their continued expansion.

3. Sale of Ice Re-surfacer

The agreement to facilitate the sale of the current Credit Union Centre Ice-Resurfacer has been drafted and sent to the Bedeque and Area Recreation Association (BARA). Once the agreement is signed and the Town's new ice resurfacer is received, arrangements will be made to transfer ownership to the BARA.

4. Ranchland Estates Subdivision

I continue to work with the developer and their engineering firm on the detailed design of the Ranchland Estates Subdivision. WSP have reviewed the design drawings and have provided comments/required revisions accordingly. I have a meeting scheduled with WSP on Monday, June 9, 2025, and with the developer on Thursday, June 12th with the developer.

5. Credit Union Centre Manager

The Credit Union Centre Manager is on leave until July 15th, 2025. The Assistant Manager has assumed all managerial duties in his absence.

6. Leadership Workshop

I attended a Leadership Workshop hosted by FPEIM and facilitated by Gordon McIntosh (Governance Expert) on June 5, 2025. The workshop related to aligning service expectations with organizational capacity.

7. Canada Community Building Fund (CCBF) Re-Profiling

A request for decision has been circulated with the tentative agenda package requesting three resolutions of Council to facilitate the re-profiling of the Town's CCBF Capital Investment Plan as follows:

- 1. Withdrawal of the Roy Panter Park Upgrades project.
- 2. Authorization to proceed with the submittal of the Centennial Park Playground Project.
- 3. Authorization to receive CCBF funds from the Rural Municipality of Malpeque to support the Centennial Park Playground project.

8. Thank you to Wes Sheridan

I would like to extend my sincere thanks to Wes Sheridan for stepping into the role of Acting CAO during my recent absence. His leadership and steady hand ensured continuity of operations, and I deeply appreciate his willingness to take on the added responsibility during a challenging time. Thank you, Wes, for your commitment and service to the Town.

Respectfully Submitted by: Geoff Baker, Chief Administrative Officer

Kensington Fire Department

Occurrence Report 2025

Description	January	February	March	April	May	June	July	August	September	October	November	December	YTD total	% Total
Medical First Responder	2	6	1	1	2								12	23.53%
Motor Vehicle Accident	4	4	3	1	1								13	25.49%
Emergency Response - Fuel Spill, etc	0	0	0		1								1	1.96%
Fire Related														
Smoke Investigation	1	1	0	2	1								5	10%
Outside Fire - Brush, Grass, Utility Pole, etc.	0	0	0	0	0								0	0%
Structure Fire - House, Building, Vehicle, etc.	3	4	3	1	3								14	27%
Alarms	0	0	3		3								6	12%
Total Fire Related	4	5	6	3	7	0	0	0	0	0	0	0	25	1
Total Incidents	10	15	10	5	11	0	0	0	0	0	0	0	51	
Mutual Aid Call Out	0	0	0	0									0	0%
Total Incidents (Inciduding Mutual Aid Provided by KFD)	10	15	10	5	11	0	0	0	0	0	0	0	51	100%
Mutual Aid Call in														1
Firefighter Attendance			12		11									12
Regular Monthly Training - No. of Firefighters	22	23	18	17	19									20
Training School/Association Meeting/Department Meeting	8	10	20	17	20									15
Call Area														
Kensington	4	5	6	3	3								21	41.18%
Malpeque CIC	0	2	1	0	1								4	7.84%
Zone's 1 to 5	6	8	3	2	7								26	50.98%
Other	0	0	0	0	0								0	0.00%

Kensington Fire Department May 2025 Fire Report

The Kensington Fire Department responded to 11 calls in May. Following is a breakdown of calls:

Date	Call Details	Location	# Firefighters	# Trucks
May.3 at 18:17	Sight/Smell of smoke	Emerald Plus Croken RD	9	1
May. 7 at 15:00	Vehicle Fire	North Freetown	12	2
May 10 at 14:26	Transformer Fire	Freetown Rd Ross Corner	14	2
May.16 at 08:34	MFR	Norboro	6	1
May.17 at 14:41	Trapped Victim Under Lawn Tractor	Kensington	11	2
May.19 at 16:00	Fire Alarm	Margate River Crescent	10	2
May.23 at 6:00	Carbon Monoxide Alarm	Kelvin Grove	12	2
May.24 at 06:00	MFR	Kensington	7	1
May.25 at 09:39	Crash Detection Alarm	Kelvin Road Freetown	14	2
May.26 at 22:23	MVC	Indian River	12	2
May.27 at 16:53	BBQ On Fire	Kensington	10	2

- May 6 Association meeting with 20 present
- MAYI 8 Training was held with ladder truck and fire hydrant with 19 present

Rodney Hickey, Chief

(P.S. Sorry Geoff, just got back from Charlottetown.)

Police Department Occurrence Report S	ummary 2025													
Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	YTD	% Total
911 Act	1	1	4	Λήι	2	Juli	Jui	Aug	Jeh	OCC	1404	DEC	J110	8 2.41%
Abandon Vehicle	1	1	-		2									4 1.20%
Alarms	3	3		3	3									12 3.61%
Animal Calls		, ,		,	1								+	1 0.30%
Arson					-									0 0.00%
Assault PO														0 0.00%
Assault with Weapon														0 0.00%
Assaults (Level 1)	1			1	2								+	4 1.20%
Assistance Calls	1	4	3	4	3									1.20%
Breach of Peace		7	3	<u> </u>	3									0 0.00%
Breach of Recognizance														0 0.00%
Break and Enter (business)			1											1 0.30%
Break and Enter (other)														0 0.00%
Break and Enter (residence)					1									1 0.30%
Carry concealed weapon					_									0 0.00%
Child Pornography			1		1									2 0.60%
Child Welfare	1				1									2 0.60%
Coroner's Act			1	1										2 0.60%
Crime Prevention	6	3	2	3	4									18 5.42%
Criminal Harassment				1	1									2 0.60%
Dangerous Driving	4		1		2									7 2.11%
Disturbing the Peace		1	1											2 0.60%
Dog Act														0 0.00%
Driving while disqualified	2	1												3 0.90%
Drug Files	1	1												2 0.60%
Excise Act														0 0.00%
Fail to Comply Probation				1										1 0.30%
Fail to comply undertaking														0 0.00%
Fail to remain at scene of accident	1	1		1										3 0.90%
Family Relations Act	1	1		2	3									7 2.11%
Fire Prevention Act	1		1											2 0.60%
Firearm Act		1												1 0.30%
Forcible confinement														0 0.00%

Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	YTD	% Total
Fraud			2		3								5	1.519
Funeral Escorts	4	1	3	1	1								10	
Harrassing Communication	1				1								2	0.007
Impaired Driver			2	2	1								5	1.519
Information Files	1	2	1	1	2								7	2.119
Injury Accidents													0	0.009
Liquor Offences													0	0.009
Litter Act													0	0.009
Lost and Found	1	2	2		4								9	2.719
Luring Minors													0	0.009
Mental Health Act	5	1	1		1								8	2.419
Mischief	6	2	2	1	2								13	3.929
Motor Vehicle Accidents	1	4	1	3	3								12	3.619
Motor Vehicle Act	5	3	8	8	7								31	9.34%
Municipal Bylaws	3												3	0.90%
Off Road Vehicle Act				1									1	0.30%
Other Criminal Code													0	0.009
Person Reported Missing					1								1	0.30%
Possession of restricted weapon													0	0.009
Property Check		1			2								3	0.90%
Resist Arrest													0	0.009
Roadside Suspensions					1								1	0.30%
Robbery													0	0.009
Sexual Assaults / Interference	2												2	0.60%
STEP (Integrated Traffic Enforcement)	1				1								2	0.60%
Sudden Death					1								1	0.309
Suspicious Persons / Vehicle	1		2	2									5	1.519
Theft Of Motor Vehicle				1									1	0.30%
Theft Over \$5000													0	0.009
Theft Under \$5000		1	1	2	4								8	2.419
Frespass Act					2								2	0.609
Trespass at Night			1										1	0.309
Uttering Threats													0	0.009

Police Department Occurrence Report Sur	nmary 2025													
Description	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	YTD	% Total
Wellbeing Check	2	1	1	3	2								9	2.71%
SOTS Issued	44	11	9	10	16								90	27%
Total Incidents	101	47	51	52	81								332	100%
HTA Warnings	2			2	14								18	
Fine Revenue	\$6,294.00	\$1,579.00	\$1,380.00	\$1,755.00	\$2,560.00								13,568.00	
Foot Patrols in hours	2	2	0	2	5								11	
Community policing school	20	15	12	16	20									
Bike helmet checks	0	0	0	0	0									
Record Checks A (BC)	7,111	6,585	8,380	6,999	9,456								38,531	
Record Checks B (KPS)	14	18	9	6	9								56	
KPS assisting other agencies		3	1		1								5	
Other agencies assisting KPS	1			1									2	

Police Report May 2025

There were 3 alarm calls to report for this month.

May 16th @ 2215hrs – Kensington Metal, member did not attend.

May 18th @ 0902hrs – KISH, member did not attend.

May 31st @ 0216hrs – Food basket, member attended.

Assistance calls

KPS assisted with resident dog on the loose.

KPS assisted person with answering some legal questions.

KPS assisted with serving documents for probation services.

KPS assisted RCMP with a traffic complaint May 27

DEVELOPMENT PERMITS REPORT

For the period May 01, 2025 to June 06, 2025

Permit Number	Date Permit Issued	PID	Applicant's Name & Address Property Address	Telephone Number	Permit Status	Work Type	Туре	of Construction	Value	Estimated Start	Estimated Finish
Residenti	al Accessory	Structu	. ,								
05-2025	05/22/2025	80010	Carl & Anne Dawson -		Approved	Mour		•	[Ψ 10,000.00	05/15/2025	06/30/2025
05-2025	03/22/2023	80010	14 School Street		Approved	New	Description:	Construct new 24'x20' s	hed	•	
<u> </u>	•				•	•		Sub T	otal: \$15,000.00		<u> </u>

Residential Deck/Fence/Pools

06 2025	05/29/2025	847772	Monica Jollimore -		Approved	Renovation	Residential Deck/Fence/Pools	\$6,000.00	05/29/2025	06/30/2025
06-2025	03/29/2023	04/1/2	12 Rosewood Drive		Approved	Renovation	Description: Replace front deck & a	addition of ramp		

Sub Total: \$6,000.00 Total: \$21,000.00



Mailing Address: 55 Victoria Street E PO Box 418 Kensington, PE COB 1M0

Tel: 902-836-3781 Fax: 902-836-3741 Email: <u>CAO@kensington.ca</u> Website: <u>www.kensington.ca</u>

Total Control	For Office Use Only
-	Permit #: 06 - 2025
	Date Received: may 29 125
100000000000000000000000000000000000000	Date Approved: May 29/25
-	PEI Planning:
100000000000000000000000000000000000000	Permit Fee: \$ 50.00 Paid

DEVELOPMENT PERMIT APPLICATION

1.	Property Inf	ormation				•	
roject Addı	ress: 12	Rosewood Dri	ive	Property Tax	Number	(PID): <u>847</u>	772
ot No.:	S	ubdivision Name	Princeto	1	_ Curre	ent Zoning: _	RI
re there an	y existing stru	ictures on the propert	y?: □ No	Yes, please d	lescribe:		
	touse						
and Purcha	ased from			Year Pu	ırchased		
	cation of Deve		J. Tuente a		erty Size	70	
□ North □ South	□ East □ West		l Frontage			q. ft	
1		Ргор	erty Dept	108	Area s	q. 1t	
2.	Contact Info	vmotion ^à					
2.		•					
	Name:	lonica Jollimo	re.	Addı	ress: _		
PPLICANT	Phone:	Cell:			_		
	Email:			Postal C	ode:	*	
	/	1	-				
ame as Abo				Addre	ess:		
OWNER	3,	Cell:					
OWNER		/					
	Email:			Postal C	ode:		
	Name:	Building Blocs	5	Addı	ress:		
CONTRACTOR ARCHITECT	,	Cell					
R ENGINEER			7	Postal C	ode:		
	Email:		year com nate		-	ESTRUCTURE VIII	THE PARTY
3.	Infrastructu	re Components					
Wa	ter Supply	∕Municipal □ Privat	e	Sewage System	n √ Mu	inicipal Pr	ivate
Τ	4	D		11.6.	. D1) = Attached	smelt de
En	trance way	Permit (Department of	1 ransportati	on and intrastructure	e Kenewai) Attached	e (ed jul
4.	Developmen	t Description			6.5		
□ New	Building v	Renovate Existing	Addition	□ Demolition	□ Othe	wheelcha	ir ramy
	Family (R1) etached (R2)	☐ Commercial (C1☐ Industrial (M1)	/	blic Serv./Instituccessory Building		I) Other	
AL OF MERCHANISMEN VINE	Unit Res. (R3)			ecks/Fence/Pools			
T		E-4	71°°11-	D. of Motor	• ~1	Ch:-	
	Foundation d Concrete	External Wall I		Roof Mater ✓ Asphalt	Tai	Chin Brick	iney
□ Slab	and the second s	□ Wood Shingle	es	□ Steel		□ Prefab	arketing .
□ Pier		□ Steel	TRUCK 27	□ Other		□ Other	
□ Other		□ Other	<u> </u>	SOUND VALUE OF SOUR			DESCRIPTION OF THE PROPERTY OF
Numbe	er of Stories	Number of Bedroo	oms N	lumber of Bathro	oms	Ground Flo	oor (ft)
	1	3			1	Width L	ength
		·					

Escel . 86 graphs - made grantlef being to milegate milegate

Detailed Project Description: K	Replace Front Dec ramp	k w addition of
Estimated Value of Construction (not including land cost):	
Please provide a diagram of pro a) Draw boundaries of your c) Indicate the distance betw e) Indicate distance to prope	lot. ween buildings.	b) Show existing and proposed buildings.d) Show location of driveway.
	\www.	33546
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5156 Rtew .	2008-234 (END)	MAN. CO IT II.
	3	Boilding Blec

I DO SOLEMNLY DECLARE & CERTIFY:

- 1. That I am the Authorized Agent of the Owner/the Owner named in the Application for a permit hereto attached.
- 2. That the information contained herein, the attached plans, and other included documents are true and complete and the development will be constructed or carried out in accordance with the plans and specifications as submitted.
- 3. Providing that the Town of Kensington and/or its agents or employees are acting in good faith in the administration of the Town Bylaws, I waive all rights of actions against Town of Kensington and/or its agents or employees in respect of any damages which may be caused through the operation of any provision(s) of its Bylaw or the revoking of a permit for any cause or irregularity or nonconformity with the Bylaw or regulations adopted by the Town of Kensington.
- 4. I assume responsibility for damage to any Town property including: sidewalks, curbs, streets or other infrastructure and I irrevocably agree to bear the cost of remediation repair or replacement of any Town damaged by myself or by any contractors, agents or employees working on the property which is the subject of this application to the complete satisfaction of the Town of Kensington.
- 5. Where services are available, properties must be serviced by municipal water and sewer in accordance with the Town of Kensington Water and Pollution Control Corporations minimum standards. I am responsible for costs associated with the connection as outlined in the IRAC (Island Regulatory and Appeals Commission) Regulations. Any connection to water or sewer must be inspected by the Town of Kensington Public Works Department and 24 hrs notice must be given and inspections must be made between the hours of 8 am and 5 pm, Monday to Friday.
- 6. That I know of no reason why the permit should not be granted in pursuance of the Application, and I make this declaration conscientiously believing it to be true.
- 7. I agree to comply with all laws of Canada, Province of Prince Edward Island, and Bylaws of the Town of Kensington pertaining to the construction/and use of the development applied for herein.
- 8. I understand that all Development Permits are valid for 12 months and subject to a 21-day appeal period following approval as stated under the PEI Planning Act.

Further, I realize that the payment of monies for this application does not constitute approval of a permit nor approval to commence any part of the work applied for.

Signature of Applicant of Appli



Mailing Address: 55 Victoria Street E PO Box 418 Kensington, PE COB 1M0

Tel: 902-836-3781 Fax: 902-836-3741 Email: <u>CAO@kensington.ca</u> Website: <u>www.kensington.ca</u>

For Office U	Ise Only	
Permit #:		
Date Received:		
Date Approved:		
PEI Planning:		
Permit Fee: \$		Paid

Width 20 Length 24

DEVELOPMENT PERMIT APPLICATION

1. Property In	formation		
Project Address: 14	School St	Property Tax Num	ber (PID): <u>80010-00</u> (
Lot No.: S	Subdivision Name	Cu	rrent Zoning: Residentia
Are there any existing str	uctures on the property?:	□ No □ Yes, please describ	oe:
Land Purchased from	eter Gallant	Year Purchas	ed <u>8001</u>
Location of Dev		Property S	
□ North □ East □ South □ West		ntage Acr	V
1 South 1 West	Property	Depth Area	a sq. ft
2. Contact Info	ormation		
Name: Q	arl Dawson	Address:	
APPLICANT Phone:	Cell		
Email:		ostal Code: _(COB-IMO
Same as Above:			
Name:		Address: _	
OWNER Phone:	Cell:		
Email:		Postal Code: _	
		Address: _	
CONTRACTOR, ARCHITECT Phone:	Cell:		
OR ENGINEER Email:		Postal Code:	the free state of the state of
3. Infrastructu	are Components		
	☐ Municipal ☐ Private	Sawaga System = N	Aunicinal - Drivets
water Suppry	i Widinerpar 🗆 Filvate	Sewage System □ N	Municipal □ Private
Entrance Way	Permit (Department of Transp	ortation and Infrastructure Renev	val) Attached
4. Developmen	t Description		
	Renovate Existing	ition Demolition Otl	her
□ Single Family (R1)		□ Public Serv./Institution (F	PSI) □ Other
□ Semi-Detached (R2)		Accessory Building	
☐ Multi-Unit Res. (R3)	☐ Mini Home (RM1)	□ Decks/Fence/Pools	
Type of Foundation	External Wall Finish		Chimney
□ Poured Concrete Slab	vinyl Sidingwood Shingles	□ Asphalt □ Steel	□ Brick
□ Pier	□ Wood Shingles □ Steel	□ Other	□ Prefab □ Other
□ Other	□ Other	L Culoi	- Other
Number of Stories	Number of Bedrooms	Number of Bathrooms	Ground Floor (ft)

0

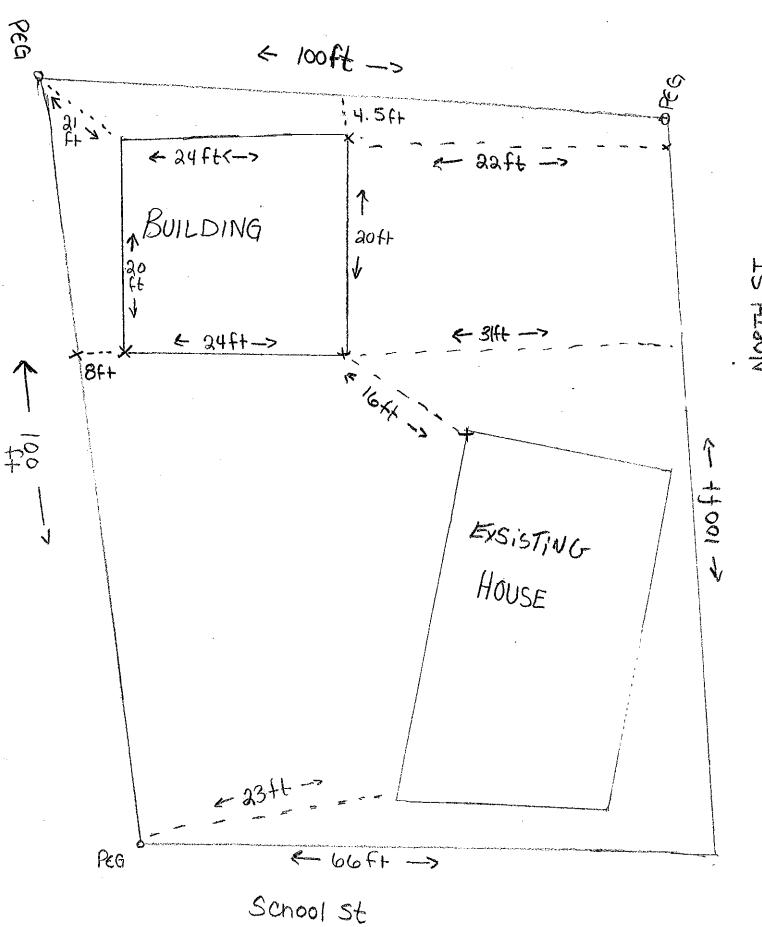
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mated Value of Construction (not including land cost):	15 000, 00 ed Date of Completion: Aue 30/6
ase provide a diagram of proposed construction: a) Draw boundaries of your lot. c) Indicate the distance between buildings. e) Indicate distance to property lines. 	b) Show existing and proposed buildin d) Show location of driveway.

- the
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Further, I realize that the payment of monies for this application does not constitute approval of a permit nor approval to commence any part of the work

Signature of Applicant



Year To Date Approved Development Permits Summary Report 2025

Development Permit Category	January	February	March	April	May	June	July	August	September	October	November	December	Total
New Commercial	1												1
New Industrial				1									1
New Residential Accessory Structure	1				1								2
New Single Family Dwelling			1										1
Renovation Residential Deck/Fence/Pools					1								1
Total:					1								6

Total Estimated Construction Value
\$300,000.00
\$500,000.00
\$23,000.00
\$225,000.00
\$6,000.00
\$1,054,000.00

TOWN OF KENSINGTON - MEMORANDUM

TO: MAYOR AND TOWN COUNCIL, CAO

FROM: GRAEME YOUNG, ACTING CUC MANAGER

DATE: MAY 2025

SUBJECT: MAY 2025- CREDIT UNION CENTRE REPORT

ATTACHMENT: STATISTICAL REPORT

May 2025

Fitplex

- Hours of operation are 5:00 am 11:00 pm daily.
- Staffed Hours are Monday to Thursday 4:00 pm-8:00 pm Friday 9:00am-1:00pm

Arena

- Hosted High School Ball Hockey League for PEISAA
- Hosted Sextortion presentation with KPS and guest speaker Carl Burke
- 53 hours booked May 2025

PEISAA 16.50 Hours
Other 2.00 Hours

Arena Maintenance

- Black and MacDonald is schedule for early July to repair 4 valves in the ice plant and there also is a brine leak that needs to be located and repaired.
- Zamboni hydraulic hose is being ordered and repairs scheduled to be done by Bells

Solar Panels

Jan 2025

1680 kw produced

\$218.40 Dollar Value

Feb 2025

5502 kw produced

\$715.26 Dollar Value

March 2025

6031kwh

784.00 Dollar Value

April 2025

5445kwh

707.88 Dollar Value

May 2025

6020kwh

782.60 Dollar Value

Kensington Cash Draw

	 M 	lay 1	120.00
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- May 8 150.00
- May 15 120.00
- May 22 120.00
- May 29 140.00

Ball Fields

- Ballfield bathroom is open for use
- Protective netting was put up by Branch Manager
- Minor baseball and Rec ball started the 3rd week of May

• Field rolling and maintenance was completed in mid May

Senior Center

• Ramp boards were secured after winter damage

Tennis \ Pickleball Courts KISH

• Wind screens will be put up week of June 9th

CUC Property

Ball Hockey and Skate Park open, trail by senior center, open and available to use. Trail
maintenance is ongoing. Fishing Derby was held on May 31 with a large attendance drawing
people from across PEI. Thank you KPS, Public Works, Mayor & Councillor's for your assistance
with this event.

Upcoming Events

- June 4 Washer Toss League starts at Alysha Toombs Memorial Pond
- June 21 Bike Rodeo
- July 1 Canada Day
- Aug 16-20 Harvest Festival

Town of Kensington Credit Union Centre Monthly Statistical Data

2025

Category	January	February	March	April	May	June	July	August	September	October	November	December	YTD
Fitplex													
Total Members	252	260	267	271	279								1329
Attendance	1457	1520	1700	1625	1673								7975
Day Passes Sold	11	12	14	12	13								62
Memberships Sold	36	38	35	30	29								168
Monthly Payment Memberships	92	92	90	88	91								453
Arena													
Hours Rented	185	175	163	53	16.5								592.5
Preschool (Free)	4	4	3	0	0								11
Adult Skate	4	4	3	0	0								11
Donated Ice Time	0	0	0	0	0								0
Total Hours Rented	193	183	169	53	16.5								614.5
Storm Days	2	2	2	0	0								6

2024

Category	January	February	March	April	May	June	July	August	September	October	November	December	YTD
Fitplex							•	•		•			
Total Members	262	265	260	262	264	260	245	235	236	239	244	242	3014
Attendance	1421	1523	1604	1580	1520	1308	1153	1098	1123	1225	1352	1257	16164
Day Passes Sold	10	15	20	19	16	15	10	11	9	10	12	10	157
Memberships Sold	35	38	34	35	30	23	20	22	25	30	32	25	349
Monthly Payment Memberships	85	90	92	94	100	98	95	92	93	95	96	92	1122
Arena													
Hours Rented	184	178	170	81	0	0	0	0	75.5	170	197	170	1225.5
Preschool (Free)	4	4	4	0	0	0	0	0	0	1	4	2	19
Adult Skate	4	4	4	0	0	0	0	0	0	1	4	2	19
Donated Ice Time	0	0	0	0	0	0	0	0	0	0	0	1	1
Total Hours Rented	192	186	178	81	0	0	0	0	75.5	172	205	175	1264.5
Storm Days	1	2.5	1	0	0	0	0	0	0	0	0	1	5.5



Mayor's Report to Town Council

June 5, 2025

The Mayor's Report to Town Council is an opportunity for the Mayor to provide feedback to Council, Staff, Residents, and other interested Stakeholders about activities of the Mayor on their behalf since the last Council meeting. It will include, as much as possible, a summary of information from meetings and discussions on behalf of the Town of Kensington. Any decisions to be made on behalf of the Town will be brought forward to the Council for decisions.

The Mayor is the designated spokesperson for the town and communicates decisions made by the Town Council. The Mayor chairs the monthly Town Council Meetings and the monthly Committee of Council meetings. All efforts are made to keep discussions and decisions transparent as we represent the town on behalf of the residents. Agendas (along with supporting information) for Committee of Council meetings and Town Council meetings are posted on the town website on the Friday afternoon prior to the meeting. (www.kensington.ca)

Committee of Council meetings are held on the 4th Monday of each month (except July and August and December) at 6:30 pm and Town Council meetings are held on the 2nd Monday of each month at 7:00 pm. The agendas (along with supporting information) are emailed to the County Line Courier, Journal Pioneer, CTV, and CBC on Friday afternoon prior to the meetings.

Queen Elizabeth Elementary School Student Vote – Councillor MacRae and I were happy to be asked to assist as the students learned about the Canadian electoral process. It was interesting to hear the questions and see the engagement of the students.

P.E.I. Easter Seals School Tour – I was pleased to be invited to attend the assembly at the school along with Councillor MacRae. It was a very high energy event and was great to see the excitement. We also took the cheque Council had approved and presented it that day.

Kensington and Area Chamber of Commerce – I was not able to attend the Chamber Golf Tournament but understand the team of four we entered had a great day. Thank you to the Chamber of Commerce Board of Directors and Executive Director for working hard to create opportunities for networking within our community.

IWK Health Centre Telethon –. Police Chief Yuill and I represented the Town at the cheque presentation for this worthwhile cause. The organizers were very appreciative of our support.

Summerside Police Chief Retirement – Police Chief Yuill and I also attended the retirement celebration for Police Chief Sinclair Walker at City Hall in Summerside. Chief Walker was very appreciative of our presence and spoke highly of our Police Department and the cooperation between our two departments. Congratulation to the new Police Chief – Jason Blaquiere.

Emergency Preparedness Meeting – Our EMO Co-Ordinator and I attended a presentation hosted by the P.E.I. Office of Public Safety on the FireSmart Program and on Emergency Preparedness. It was a very worthwhile presentation but unfortunately did not have a great attendance.

VE Day – Police Chief Yuill, Constable Steenson and I all attended the Legion's Victory in Europe commemoration this past month. This year marked the 80th anniversary of the end of World War II in Europe.



Family Violence Prevention Walk of Silence – We had a wonderful turnout for the annual Walk of Silence in support of Family Violence Prevention. We were pleased to welcome Jane Ledwell and Caroline Galloway from the PEI Status of Women for this occasion. Thank you to all the staff and local businesses who assisted in making it a great day.

Art Co-op Murals – Thank you to the Kensington art Co-op for the donation of three beautiful new murals that have been placed on the Masonic Hall and to Karen Fullerton from the Art Co-op for organizing the installation. They are a wonderful addition to the core area.

Queen Elizabeth Hospital Big Day of Giving – Thank you Councillor MacRae for attending the cheque presentation in Charlottetown to support one of our Island's Hospitals

Prince County Hospital – Thank you to staff member Adrian Wedge for attending the Donor Recognition hosted by the Prince County Hospital Foundation.

Kensington Police Fishing Derby – Thank you to Police Chief Yuill and your staff for all the work you put in to make the Fishing Derby a great success. The weather cooperated and the turnout was fantastic. Thank you to the Councillors who attended and assisted as well.

Town Clean-up – I would like to thank the Councillors and their families who came out to help with the Town Cleanup. I was impressed by how clean most areas were before we did the cleaning. We did manage to gather at least a dozen bags around town so I'm sure our small group made a difference.

Town By-Election – I would like to Congratulate Shawn McCarvill on winning the recent by-election. Thank you to Rowan Caseley for putting his name forward and to Paull Chessman for taking on the Municipal Election Officer duties. Thank you to other staff members who took on extra duties to ensure everything went smoothly.

Interim CAO – I would like to express my gratitude to Wes Sheridan for all his work over the past few months. I hope you can now begin your well-deserved retirement!

I would like to thank all Town staff for their incredible dedication they continue to display in their day-to-day duties. We are lucky to have many wonderful employees in the organization.

Jeff Spencer, Acting Mayor Town of Kensington

Town of Kensington - Request for Decision

Date: June 9, 2025	Request for Decision No: 2025-23
	(Office Use Only)

Topic: Development Permit Application – Mobile Classroom at Queen Elizabeth Elementary

School

Proposal Summary/Background:

The Town has received a Development Permit Application from the PEI Department of Transportation and Infrastructure for the installation of a stand-alone mobile classroom at the Queen Elizabeth Elementary School property. The mobile classroom is proposed to be situated on the existing school grounds and will serve as an accessory structure to support increased educational space needs.

Benefits:

- Supports Education Capacity: The addition of a mobile classroom provides immediate relief to capacity constraints at Queen Elizabeth Elementary School.
- Minimally Invasive: Mobile classrooms are designed for quick deployment with limited site disruption.
- Compliance with Bylaws: The proposed structure meets all applicable requirements under the Town's Development Control Bylaw, including those governing accessory structures.

Disadvantages:

• None Noted.

Discussion/Comments:

Town staff have reviewed the Development Permit Application and confirm that the proposed mobile classroom qualifies as an accessory structure as per the definition (Section 7(2)) under the Town's Development Control Bylaw. The structure is subordinate and incidental to the primary educational use of the property and meets the applicable setback, height, and lot coverage requirements (Section 3.2).

Given the pressing need for additional classroom space at Queen Elizabeth Elementary and the conformity of the proposal with municipal regulations, there are no technical or planning objections to approval.

Options:

- 1. Approve the development permit application, as recommended.
- 2. Not approve the development permit application.
- 3. Refer the matter back to staff.

Costs/Required Resources:	Source of Funding:
N/A	N/A

Recommendation:

It is recommended that Town Council consider and adopt the following resolution:

It is recommended that Town Council approve the Development Permit Application for the installation of a stand-alone mobile classroom at Queen Elizabeth Elementary School, as submitted by the PEI Department of Transportation and Infrastructure, based on the structure's compliance with the Town of Kensington's Development Control Bylaw.

Proposed Resolution:

BE IT RESOLVED THAT Kensington Town Council approve the Development Permit Application submitted by the PEI Department of Transportation and Infrastructure for the placement of a stand-alone mobile classroom at the Queen Elizabeth Elementary School property, subject to compliance with all applicable municipal bylaws and provincial regulations.



Mailing Address: 55 Victoria Street E PO Box 418 Kensington, PE COB 1M0

Tel: 902-836-3781 Fax: 902-836-3741 Email: CAD@kensington.ca Website: www.kensington.ca

Use Only
Paid Paid

DEVELOPMENT PERMIT APPLICATION

	Propert				46.27			U. Valdada	
			Lane, Kensingto			Property Tax Nu			
			tures on the pr			Yes, please desci		Zoning:	
	3 4 6 6 7		entary School			1 es, piease desci	ibe;		
and Purchas	sed fron					Year Purch	ased	_	
Loca	ation of	Develo	pment			Property	Size		
	□ East			Road Fro	7 7 3 7	A			
LI SOUTH L	□ West			Property	Depth _	Aı	ea sq. ft		
2.	Contact	Infor	nation						
	Name:	PEL	Dept. DTI (Art	per Capo)		Address:	11 Ker	nt Street, PO BO	X 2000
PPLICANT	Phone:		C	ell: 902-2	18-1674		Charlo	ttetown, PE	
	Email:	acap	o@gov.pe.ca			Postal Code:	C1A 7	N8	
ame as Abov						100			
						Address:	-		
OWNER	Phone:	-	Co	ell:					
	Email:					Postal Code:			
	Name:	Darrir	Dunsford, Co	les Associ	ates Ltd.	Address:	85 Fitz	roy Street, Suite	e 201
ONTRACTOR, RCHITECT	Phone:	902-3	368-2300 C	ell:			Charlo	ttetown, PE	
R ENGINEER	Email:	ddun	sford@colesa	ssociates	s.com	Postal Code:	C1A 1I	R6	
3.	Infrastr	ucture	Components						
Wate	er Suppl	y A N	∕unicipal □ P	rivate	Sev	vage System	Munici	pal Private	
Entr	ance W	ay Pe	rmit (Departme	nt of Transp	ortation and	Infrastructure Ren	ewal) 1	□ Attached	
-			Description						
■ New E			enovate Existing	, □ Add	ition 🗆 I	Demolition 🗆 C	Other		
□ Single Fa	mily (R	1)	□ Commercia	l (C1)	Public S	Serv./Institution	(PSI)	□ Other	
□ Semi-Det			□ Industrial (N			ory Building)
□ Multi-Un	it Res. (R3)	□ Mini Home	(KMI) [Decks/I	ence/Pools	-1		
Type of Fo			External W			Roof Material		Chimney	
□ Poured □ Slab	Concret	e	□ Vinyl Sid			sphalt eel		Brick Prefab	
□ Pier			■ Steel	nigics		ther	THE RESEARCH	Other	
■ Other			□ Other					10,43%	
Number	of Storie	s	Number of Bo	edrooms	Numbe	er of Bathrooms		Ground Floor (ft)	
	1						Widtl	1 31.86 Length	26.86

	Drawings	
Estimated Value of Construction (not including lan	d cost): 290,000.00	
Projected Start Date: June 19, 2025	Projected Date of Completion:	August 29, 2025
Please provide a diagram of proposed construction a) Draw boundaries of your lot. c) Indicate the distance between buildings. e) Indicate distance to property lines.		and proposed buildings of driveway.
See attached Drawings		
		1
		1

I DO SOLEMNLY DECLARE & CERTIFY:

- 1. That I am the Authorized Agent of the Owner/the Owner named in the Application for a permit hereto attached.
- 2. That the information contained herein, the attached plans, and other included documents are true and complete and the development will be constructed or carried out in accordance with the plans and specifications as submitted.
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Further, I realize that the payment of monies for this application does not constitute approval of a permit nor approval to commence any part of the work applied for.

Signature of Applicant hou Copp Date: May 22,2025

QUEEN ELIZABETH ELEMENTARY SCHOOL STAND-ALONE MOBILE CLASSROOM

PEI Department of Transportation & Infrastructure
PEIG DTI #470-25016

2 Saunders Lane Kensington, PE

ARCHITECTURAL

PROJECT COVER SHEET
PROJECT INFO., SCHEDULES & LEGENDS, OUTLINE

SPECIFICATIONS, PARTIAL SITE PLAN
A100 ARCHITECTURAL FLOOR PLAN AND EXTERIOR ELEVATIONS
A300 BUILDING SECTIONS AND STRUCTURAL DETAILS
A350 WALL SECTIONS & DETAILS

A350 WALL SECTIONS & DETAILS
A400 RAMP, STAIR & HANDRAIL DETAILS
A500 INTERIOR ELEVATIONS & MILLWORK DETAILS

MECHANICAL

M001 MECHANICAL SPECIFICATIONS
M100 MOBILE CLASSROOM FLOOR PLAN - HVAC & SCHEDULES

ELECTRICAL

E001 ELECTRICAL SPECIFICATIONS & LEGEND E100 PARTIAL ELECTRICAL SITE PLAN, PARTIAL

FLOOR PLANS & TRENCH DETAIL
E101 MOBILE CLASSROOM FLOOR PLAN - POWER,
COMMUNICATIONS, SYSTEMS, LIGHTING &



Suite 201, 85 Fitzroy Street Charlottetown, PEI, Canada, C1A 1R6 Phone (902) 368-2300 www.colesassociates.com Prince Edward Island Department of Transportation and Infrastructure PEIG DTI #470-25016

Queen Elizabeth Elementary School Stand-Alone Mobile Classroom Sheet Title

Project Cover Sheet

No. Description

Date

Date: 2025-05-22

0 Issued For Tender

2025-05-22

Drn By: AB

Chk By: DD

Project Number:

251074

Drawing Number:

THIS DRAWING AND ALL COPYRIGHT THEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF COLES ASSOCIATES LTD. REPRODUCTION OR USE OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS OR IN ANY FORM WHATSOEVER WITHOUT THE PRIOR WRITTEN CONSENT OF COLES ASSOCIATES LTD IS STRICTLY PROHIBITED.

GENERAL NOTES

- VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK
- THE WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA (NBCC 2020) & CSA 2023 B651-23 UNLESS OTHERWISE NOTED ON
- COMPLY WITH ALL LOCAL, MUNICIPAL AND PROVINCIAL BY-LAWS AND REGULATIONS.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION.
- BENCH MARKS TO BE ESTABLISHED BY CONTRACTOR.
- ALL PENETRATIONS IN RATED PARTITIONS AND/OR FLOOR ASSEMBLIES FOR PLUMBING, DUCTING OR ELECTRICAL ARE TO BE SEALED, FIRE STOP IN ACCORDANCE WITH WALL AND/OR FLOOR TYPES. SUBMIT ULC DETAILS AND MATERIALS DURING SHOP DRAWING PROCESS FOR REVIEW PRIOR TO
- ALL WOOD FRAMING TO BE CONSTRUCTED OF APPROVED MATERIALS AND LATERALLY STRAPPED AND SUPPORTED AS PER NBCC 2020 STRUCTURAL
- ALL WALL DIMENSIONS ARE TO FINISH FACE OF GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
- ALL OTHER DISCIPLINES SHOWN FOR GENERAL INTENT ONLY. REFER TO CORRESPONDING DRAWINGS.
- . REFER TO MATERIAL/FINISH SCHEDULE IN THE SPECIFICATION FOR INFORMATION ON MATERIAL TAGS.
- STAIR CONSTRUCTION:
- RUN (MIN. NOSING TO NOSING): 280mm RISE: MAX. 180mm, MIN. 125mm
- -GUARDRAIL: IF STAIR LANDING IS MORE THAN 600mm ABOVE GRADE. A GUARDRAIL SHALL BE REQUIRED. GUARD TO BE MIN. 1070mm HIGH ABOVE NOSING OF STAIR TREAD AND LANDING. VERTICAL SPINDLES TO BE MAX. 100mm O.C. -HANDRAIL: 914mm HIGH ABOVE NOSING OF STAIR TREAD (BOTH SIDES). EXTEND HANDRAIL MIN. 300mm HORIZONTAL AT BOTTOM AND TOP OF STAIRS.
- HANDRAIL DIAMETER TO BE MAX. 38mn - SURFACES: TREAD AND LANDING SURFACES SHALL BE SLIP-RESISTANT. LANDINGS SHALL HAVE A 50 ± 10mm SAFETY YELLOW ADHESIVE CONTRAST STRIP AT TOP OF STAIRS (2 LOCATIONS).
- 2. RAMP CONSTRUCTION:
- SLOPE: MAX. 1:20. MIN. 1:12 - HORIZONTAL DISTANCE BETWEEN LEVEL LANDINGS: MAX. 9000mm. - CLEAR WIDTH ON RAMP: MIN. 1200mm. INTERMEDIATE LANDING TO BE MIN. 1200mm x 1200mm. LANDING AT TOP AND BOTTOM OF RAMP TO BE MIN. 1700mm IN LENGTH.
- GUARDRAIL: IF RAMP OR LANDING SURFACE IS MORE THAN 600mm ABOVE GRADE, A GUARDRAIL SHALL BE REQUIRED, GUARD TO BE MIN, 1070mm HIGH ABOVE RAMP OR LANDING SURFACE. VERTICAL SPINDLES TO BE MAX. 100mm O.C. LOWER EDGE OF GUARDRAIL TO BE MAX. 100mm FROM RAMP OR LANDING SURFACE
- HANDRAIL: MIN. 860mm, MAX. 920mm HIGH FROM RAMP SURFACE TO TOP OF RAIL (BOTH SIDES). EXTEND HANDRAIL 300mm HORIZONTAL AT BOTTOM AND TOP OF RAMP HANDRAIL MAY PROJECT 100mm INTO RAMP CLEARANCE (BOTH SIDES), HANDRAIL DIAMETER TO BE MAX, 38mm - SURFACES: RAMP AND LANDING SURFACES SHALL BE SLIP-RESISTANT. RAMPS AND LANDINGS SHALL HAVE A 50 ± 10mm SAFETY YELLOW ADHESIVE CONTRAST STRIP AT EACH CHANGE IN SLOPE (4 LOCATIONS).



CONTEXT PLAN

PROJECT INFORMATION

ADDRESS: 2 SAUNDERS LANE, KENSINGTON PE MUNICIPALITY: TOWN OF KENSINGTON PID#: 498220 ZONING: PSI - PUBLIC SERVICE & INSTITUTIONAL GROSS AREAS: FIRST FLOOR: 79 m²

FLOOR PLAN LEGEND

100

(REFER TO FLOOR PLAN FOR WALL TYPE)

ROOM NUMBER AND NAME

ROOM NAME

SURFACE, SAME WIDTH AS DOOR.

1.2.3.1. COUNTER TOPS AND BACKSPLASH: ONE PIECE POST

POST-FORMED AS NOTED ON DRAWINGS.

1.2.3.3. LAMINATED PLASTIC: POST FORMING GRADE, 0.75

1.2.3.4. LAMINATED PLASTIC: STANDARD GRADE, 1.15mm

1.2.3.5. LAMINATED PLASTIC (NON-EXPOSED SURFACES):

SITE, BASED ON FIELD CONDITIONS.

1242 PULLS: 110mm STAINLESS STEEL "D" PULL

1.2.4.2.1. ACCEPTABLE PRODUCT: RICHELIEU

BASE CABINET LEVELLER.

CYLINDER LENGTH.

1.3. SECTION 07 21 13 - BOARD INSULATION

POLYISOCYANURATE

1.4. SECTION 07 21 16 - BLANKET INSULATION

CAVITIES AND ATTIC.

1.4.2. STANDARD OF ACCEPTANCE:

DRAWINGS

OR APPROVED FOUAL 1.2.4.4. SHELF PILASTER AND CLIP SUPPORTS: 15mm

1.2.4.5.1. SCHEDULE: ALL CABINET DOORS

1.2.3.6. SPLASH BACK SIDE RETURNS TO BE INSTALLED ON

1.2.4.1. HINGES: SOFT-CLOSING, 110 DEGREE HINGE WITH

1.2.4.1.1. ACCEPTABLE PRODUCT: RICHELIEU BLUM

1.2.4.3. LEVELLERS AND SUPPORTS: 80mm CONCEALED

#BP221170-170 OR APPROVED EQUAL

1.2.4.3.1. ACCEPTABLE PRODUCT: RICHELIEU #2212G80

1.2.4.4.1. ACCEPTABLE PRODUCT: RICHELIEU #255G

1.2.4.5. LOCKS: DEADBOLT DOOR CABINET LOCK WITH 22mm

1.2.4.5.2. ACCEPTABLE PRODUCT: RICHELIEU OLYMPUS

1.2.4.6. COAT HOOKS: 111mm HIGH x 73mm PROJECTING,

MATTE BLACK IRON DOUBLE HOOK

1.2.4.6.1. ACCEPTABLE PRODUCT: RICHELIEU

1.3.1. PROVIDE INSULATION AS INDICATED THROUGHOUT

1.3.2. STANDARD OF ACCEPTANCE: IKO ENER-AIR,

1.3.2.3. COMPRESSIVE STRENGTH: 16 PSI MIN

1.4.1. PROVIDE INSULATION AS INDICATED THROUGHOUT

1.3.2.1. LOCATION: EXTERIOR WALLS

#OL107810126D OR APPROVED EQUAL.

#RH3603301900 OR APPROVED EQUAL.

1.3.2.2. THICKNESS & R-VALUE PER ASSEMBLIES (R6.3 PER

DRAWINGS. EXTERIOR WALLS, INTERIOR PARTITION

1.4.2.2. THICKNESS & R-VALUE PER ASSEMBLIES (R3.4 PER

1.4.2.1. OWENS CORNING, PINK NEXT GEN FIBERGLAS

PILASTER, RECESSED WITH METAL SUPPORT CLIPS.

(LENGTH TO SUIT) OR APPROVED EQUAL.

BLUMOTION #71B355180 OR APPROVED EQUAL.

FORMED. FACTORY LAMINATED, SELF-EDGED OR

1.2.3. LAMINATED PLASTIC COUNTER TOPS AND BACK

1.2.3.2. CORE: 19MM DOUGLAS FIR PLYWOOD.

THICK, TYPICAL COUNTERTOP.

LINER SHEET, 0.75mm THICK.

MM THICK.

1.2.4. CABINET HARDWARE:

CLIP TOP.

WINDOW TAG

DOOR TAG

WALL TAG

38mm STEEL SIDING c/w GIRTS @ 400mm O.C. - 25mm AIR SPACE 50mm RIGID INSULATION (R-12) - AIR / MOISTURE BARRIER 19mm PLYWOOD SHEATHING - 38x140mm WOOD STUDS @ 400mm O.C. c/w BATT INSULATION (R-20) - 6mil POLY VAPOUR BARRIER 16mm GWB, 1 LAYER

ROOF TYPES

EXTERIOR WALL TYPES TAG DESCRIPTION

- TAG DESCRIPTION 19mm SHEET METAL ROOFING - HORIZ. 19mm x 89mm WOOD STRAPPING - VERT. 19mm x 89mm WOOD STRAPPING WATERPROOF MEMBRANE
- 19mm PLYWOOD SHEATHING - ROOF TRUSSES (BY MANUFACTURER) FIBERGLASS BATT INSULATION (R-43) - 6mil POLY VAPOUR BARRIER 19mm x 89mm WOOD STRAPPING
- 16mm GWB, 1 LAYER T-BAR CEILING (REFER TO RCP FOR HEIGHT AND LOCATIONS

FLOOR TYPES

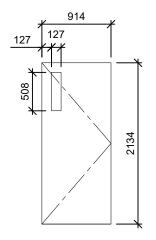
TAG	DESCRIPTION

- LVP FLOORING c/w 100mm RUBBER COVE WALL BASE 19mm PLYWOOD T&G - 38mm x 235mm WOOD FLOOR JOISTS @ 400mm O.C. c/w URETHANE SPRAY FOAM INSULATION (R-42)

	R	OOM F	INISH	SCHED	ULE				
DOOM		FLO	ORS	WALLS					
ROOM NO.	ROOM NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST		
		FLOOR	DAGE	FINISH	FINISH	FINISH	FINISH		
100	CLASSROOOM	LVP	RB-1	P-1	P-1	P-1	P-1		

MATERIAL/FINISH LEGEND

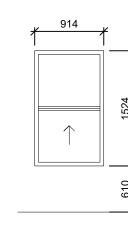
- LATEX PAINT, SEMI-GLOSS FINISH (PRIMER AND TWO FINISH COATS) COLOUR: BENJAMIN MOORE OC-24. 'CLOUD COVER'
- EXTERIOR ACRYLIC LATEX PAINT, SEMI-GLOSS FINISH, 2 COATS (EXTERIOR P-2 ACRYLIC PRIMER/SEALER, 1 COAT). COLOUR: SHERWIN WILLIAMS SW 7018, 244-C5, 'DOVETAIL'
- ACRYLIC RESIN OR LATEX BASED EXTERIOR METAL PAINT, SATIN FINISH COLOUR: SHERWIN WILLIAMS SW 7018, 244-C5, 'DOVETAIL' RUBBER COVE WALL BASE, 100mm HIGH
- COLOUR: #461 'WICKER'
- LUXURY VINYL PLANK FLOORING: FORBO ALLURA FLEX 1.0 COLOUR: 63533 "LIGHT TIMBER" WITH IR EMBOSSING AND 4-SIDE BEVEL
- SHEET METAL ROOFING COL-1 COLOUR: 'PEWTER GREY'
- COL-2 STEEL SIDING COLOUR: 'BONE WHITE'



"TYPE D-1"

INSULATED CORE 16 GA STEEL DOOR 127 x 508 THERMAL VISION PANEL PAINT ON PRIMER P-3 18 GA THERMALLY BROKEN STEEL FRAME, PAINTED P-3

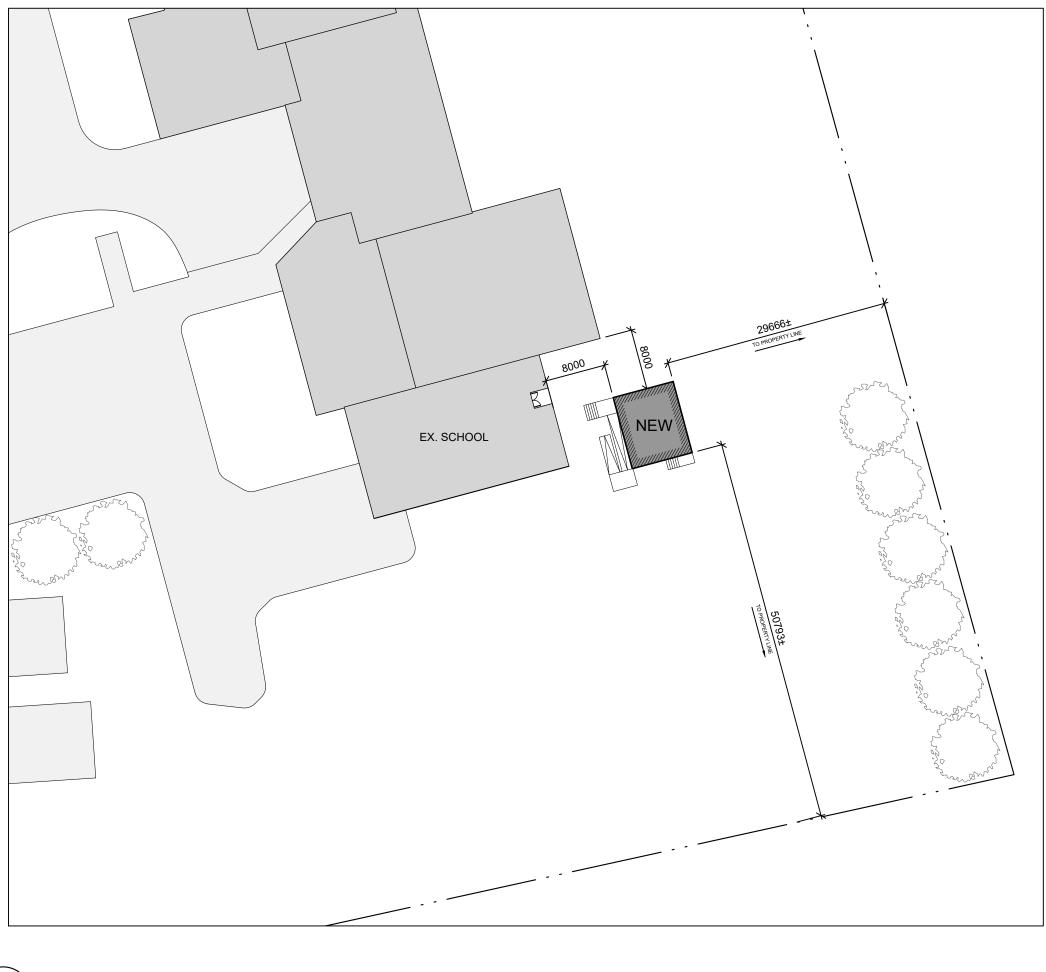
DOOR TYPE SCALE NTS



"TYPE WN-1"

KOHLTECH SUPREME SINGLE HUNG <<OR>> MBF PRESTIGE SERIES VINYL WINDOW, TRIPLE GLAZED, c/w 22mm NARROW BRICK MOULD AND SILL BRICK MOULD

> WINDOW TYPE SCALE NTS



. ARCHITECTURAL

1.1. SECTION 06 10 00 - ROUGH CARPENTRY

- 111 LUMBER 1.1.1.1. UNLESS SPECIFIED OTHERWISE, SOFTWOOD, S4S,
- MOISTURE CONTENT 19% (S-DRY) OR LESS IN ACCORDANCE WITH FOLLOWING STANDARDS: 1.1.1.1.1 CAN/CSA-O141
- 1.1.1.1.2. NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER 1.1.1.2. GLUED END-JOINTED (FINGER JOINTED) LUMBER ARE
- NOT ACCEPTABLE. 1.1.2. FRAMING AND BOARD LUMBER: IN ACCORDANCE WITH
- 1.1.3. FURRING, BLOCKING, NAILING STRIPS, GROUNDS, ROUGH BUCKS, CANTS, CURBS, FASCIA BACKING AND SLEEPERS: 1.1.3.1. S4S IS ACCEPTABLE.
- 1.1.3.2. BOARD SIZES: "STANDARD" OR BETTER GRADE. 1.1.3.3. DIMENSION SIZES: "STANDARD" LIGHT FRAMING OR
- BETTER GRADE
- 1.1.4. POST AND TIMBERS SIZES: "STANDARD" OR BETTER
- 1.1.5. DOUGLAS FIR PLYWOOD (DFP): TO CSA O121, STANDARD CONSTRUCTION.
- 1.1.6. PROVIDE ROUGH CARPENTRY, BLOCKING, CURBS AS REQUIRED
- 1.1.7. LUMBER SHALL COMPLY WITH THE OFFICIAL GRADING RULES OF NLGA FOR DIMENSION LUMBER. ALL LUMBER
- TO BE FSC CERTIFIED
- 1.1.8. PROVIDE FIRE TREATED PLYWOOD MOUNTING BOARDS FOR FLECTRICAL EQUIPMENT 1.1.9. WOOD IN CONTACT WITH MASONRY OR CONCRETE, OR AT EXTERIOR LOCATIONS SHALL BE PRESSURE

1.2. SECTION 06 41 00 - ARCHITECTURAL WOOD CASEWORK

PRESERVATIVE TREATED.

- 1.2.1. CASEWORK 1.2.1.1. FABRICATE CASEWORK TO AWMAC CUSTOM GRADE.
- 1.2.1.2.1. CLEAR MAPLE HARDWOOD, 19mm THICK. 1.2.1.3. FURRING, BLOCKING, NAILING STRIPS, GROUNDS AND ROUGH BUCKS AND SLEEPERS:
- 1.2.1.3.1. HARDWOOD PLYWOOD, THICKNESS AS 1.2.1.4. CASE BODIES (ENDS, DIVISIONS, GABLES AND BOTTOMS, INCLUDING BASE, UPPERS AND WALL
- CABINETS): 1.2.1.4.1. CLEAR MAPLE VENEER PLYWOOD, GOOD BOTH SIDES, 19mm THICK.
- 1.2.1.4.2. EDGE BANDING: 6mm CLEAR MAPLE HARDWOOD, COLOR AND FINISH TO MATCH TOP SURFACE, STRIP SAME WIDTH AS MATERIAL.
- 1.2.1.4.3. BACKS: CLEAR MAPLE VENEER PLYWOOD, 13mm THICK. 1.2.1.5. SHELVING (ADJUSTABLE, FIXED TOP AND BOTTOM):
- 1.2.1.5.1. CLEAR MAPLE VENEER PLYWOOD, GOOD BOTH SIDES, 19mm THICK.
- 1.2.1.5.2. USE RECESSED STANDARDS TO SUPPORT SHELVES.
- 1.2.1.5.3. EDGE BANDING (ALL EDGES): 6mm CLEAR MAPLE HARDWOOD, COLOR AND FINISH TO MATCH TOP SURFACE, SAME WIDTH AS MATERIAL. 1.2.2. DOORS AND DRAWER FRONTS: FABRICATE DOORS TO
- AWMAC CUSTOM GRADE, FULL OVERLAYS, SUPPLEMENTED AS FOLLOWS: 1.2.2.1. CLEAR MAPLE VENEER PLYWOOD, GOOD BOTH SIDES, 19mm THICK.

HARDWOOD. COLOR AND FINISH TO MATCH FACE

1.2.2.2. EDGE BANDING (ALL EDGES): 6mm CLEAR MAPLE

- 1.5. SECTION 07 21 19 FOAMED-IN-PLACE INSULATION
- 1.5.1. PROVIDE INSULATION AS INDICATED THROUGHOUT DRAWINGS. UNDERSIDE OF FLOOR SYSTEM. 1.5.2. STANDARD OF ACCEPTANCE: 1.5.2.1. GENYK, BOREAL NATURE, TYPE 2
 - 1.5.2.2. ELASTOCHEM, INSULTHANE EXTREME ccSPF, DENSITY 2.2 LB/FT3 1.5.2.3. THICKNESS & R-VALUE PER ASSEMBLIES (MIN. R6 PER INCH)

- 1.6. SECTION 07 26 00 VAPOUR RETARDERS
- 1.6.1. SHEET VAPOUR BARRIER 1.6.1.1. POLYETHYLENE SHEET 6 MIL TO BE USED ON ALL WALLS AND CEILINGS AS APPLICABLE.
- 1.7. SECTION 07 27 00 AIR BARRIERS
- 1.7.1. AIR BARRIER MEMBRANE (SELF-ADHERING), WALL
- SURFACES. 1.7.1.1. SELF-ADHESIVE WITH PRIMER 1.7.1.2. PRIMER: TYPE RECOMMENDED BY MANUFACTURER.
- 1.7.1.3. FOR INSTALLATION ON CONCRETE AND SHEATHER. 1.7.1.4. STANDARD OF ACCEPTANCE:
- 1.7.1.1.1 HENRY, BLUESKIN VP160 1.7.2. AIR BARRIER MEMBRANE (SELF-ADHERING), AROUND WINDOWS AND DOORS.
- 1.7.2.1. SELF-ADHESIVE WITH PRIMER 1.7.2.2. PRIMER: TYPE RECOMMENDED BY MANUFACTURER. 1.7.2.3. FOR INSTALLATION ON CONCRETE AND SHEATHING.
- 1.7.2.4. STANDARD OF ACCEPTANCE: 1.7.2.1.1. 3M, FLASHING TAPE 8067, 150mm WIDE

1.8. SECTION 07 46 19 - STEEL SIDING

- 1.8.1. STANDARD OF ACCEPTANCE: 1.8.1.1. VICWEST AD SERIES, AD200: CONCEALED FASTENER, 38mm THICKNESS, 200mm FLUTE SPACING WITH
- 116mm REVEAL 1.8.2. PRE-FINISHED METAL, 20 GAUGE 1.8.3. FINISH: VICWEST, WEATHERXL™ WITH SILICONE MODIFIED POLYESTER PAINT SYSTEM
- 1.8.4. COLOUR: REFER TO MATERIAL / FINISH SCHEDULE. 1.8.5. PROVIDE PREFINISHED METAL PANELS AS SCHEDULED
- 1.8.6. PROVIDE ALL NECESSARY GIRTS FOR ATTACHMENT TO BUILDING STRUCTURE, MASONRY/CONCRETE BACK-UP AND METAL STUD FRAMING
- 1.8.7. PROVIDE SHOP DRAWINGS FOR REVIEW.

1.9. SECTION 07 61 00 - SHEET METAL ROOFING

- 1.9.1. METAL ROOF PANELS (EXPOSED FASTENERS) 1.9.1.1. GAUGE: MINIMUM 28 GAUGE 1.9.1.2. FINISH: FACTORY FINISHED, VICWEST, WEATHERXLTM
- WITH SILICONE MODIFIED POLYESTER PAINT 1.9.1.3. FASTENERS: SCREWS WITH NEOPRENE WASHERS,
- FACTORY FINISHED SCREWS TO MATCH COLOUR OF ROOFING. 1.9.1.4. SNOW GUARDS: 28 GAUGE METAL TO MATCH ROOFING COLOUR, SCREWED TO ROOF. REFER TO
- DRAWINGS FOR LOCATIONS AND PROFILE. 1.9.1.5. COLOUR: REFER TO MATERIAL / FINISH SCHEDULE. 1.9.1.6. STANDARD OF ACCEPTANCE: 1.9.1.1.1. VICWEST, ULTRAVIC: 36" /914MM WIDE SHEET, 3/4" / 19MM HIGH FLUTES, 9" / 228MM FLUTE
- 1.9.2. HIGH TEMPERATURE MEMBRANE 1.9.2.1. SELF-ADHESIVE
- REQUIREMENTS. 1.9.2.3. STANDARD OF ACCEPTANCE: 1.9.2.3.1. SOPREMA, LASTOBOND SHIELD HT
- 1.10. <u>SECTION 08 11 13 HOLLOW METAL DOORS AND FRAMES</u> 1.10.1. DOOR CONSTRUCTION: A40 GALVANNEAL, FORM EACH
- 1.9.2.2. PRIME AND INSTALL PER MANUFACTURER
- FACE SHEET FOR DOORS FROM 16 GAUGE, LOCK SEAM 1.10.2. FRAMES: A40 GALVANNEAL, WELDED TYPE, THERMALLY

- BROKEN, 18 GAUGE 1.10.3. INSULATION: STYRENE CORE
- 1.10.4. GLAZING: PROVIDE 127MM x 508MM THERMAL VISION PANEL. SEE DOOR TYPES FOR LOCATION. 1 10 5 FINISH: REFER TO MATERIAL / FINISH SCHEDULE 1.10.6. INTERIOR TRIM: PROVIDE PAINTED PRIME TRIM AND RETURNS AT INTERIOR OF EACH EXIT DOOR. COLOUR TO 1.6.2. LOCATE ON WARM SIDE OF INSULATION IN ALL CASES.
 - 1.11. SECTION 08 53 13 VINYL WINDOWS

MATCH WINDOW TRIMS.

- 1.11.1. STANDARD OF ACCEPTANCE:
- 1.11.1.1. KOHLTECH SUPREME WINDOWS <<OR>> MBF PRESTIGE SERIES 1.11.2. TYPES: SINGLE HUNG
- 1 11 3 VINYL: SIZES PER DRAWINGS 1.11.4. COLOUR: WHITE ON BOTH SIDES 1.11.5. BRICK MOULD: 7/8" WITH NAILING FLANGE, PICTURE
- NARROW PROFILE (PN). SILL BRICK MOULD 1.11.6. GLASS: SEALED INSULATING GLASS 1.11.6.1. TRIPLE PANE, ENERGLAS WITH ARGON, SHGC 0.48, VLT 0.56, ENERGY RATING 39
- 1.11.7. GRILLES: NONE 1.11.8. INTERIOR ACCESSORIES: SCREENS & 3/4" INTEGRAL RETURN FOR WINDOW LINERS AND COMPLETE WITH ALL OPERATING & LOCKING HARDWARE
- 1.11.9. CLASSIFICATION RATING: TO CAN/CSA-A440
- 1.12. SECTION 08 71 00 DOOR HARDWARE 1.12.1. DOOR D1 - MAIN ENTRANCE DOOR AT RAMP
- 1.12.1.1. HINGES (3): FBB 179, 4.5 4, C26D, STANLEY 1 12 1 2 EXIT DEVICE WITH EXTERIOR TRIM: 8013 LB 26D RIM TYPE EXIT DEVICE, SARGENT
- 1.12.1.3. WEATHERSTRIPPING: W-20S X 20.4', KNC 1.12.1.4. THRESHOLD: CT-10 x DOOR WITH, 627 KNC
- 1.12.1.5. CLOSER: 1431 RO EN, SARGENT 1.12.1.6. OVERHEAD STOP: 590H US26D, SARGENT 1.12.1.7. DOOR SWEEP: W-24S x DOOR WIDTH, 628, KNC 1.12.1.8. DOOR OPERATOR WITH ACTIVATOR BUTTONS: 9542
- 1.12.1.9. POWER SWITCH: CAMDEN CM-1100 c/w OPTIONAL CYLINDER AND LED INDICATOR 1.12.1.10. ELECTRIC STRIKE: 6211 FSE CON 630, VON 1.12.2. DOOR D1 - SIDE EXIT DOOR
- 1.12.2.1. HINGES (3): FBB 179, 4.5 4, C26D, STANLEY 1.12.2.2. EXIT DEVICE WITH EXTERIOR TRIM: 8063 PTB 26D RIM TYPE EXIT DEVICE, SARGENT 1.12.2.3. WEATHERSTRIPPING: W-20S x 20.4', KNC 1.12.2.4. THRESHOLD, CT-10 x DOOR WIDTH, 627 KNC
- 1.12.2.6. OVERHEAD STOP: 590H US26D, SARGENT 1.12.2.7. DOOR SWEEP: W-24S x DOOR WIDTH. 628, KNC 1.13. <u>SECTION 09 21 16 - GYPSUM BOARD ASSEMBLIES</u>

1.12.2.5. CLOSER, 1431 RO EN, SARGENT

- 1.13.1. STANDARD OF ACCEPTANCE: 1.13.1.1. CGC 1.13.2. GYPSUM BOARD SHALL COMPLY WITH CSA A82.27, AND SHALL BE 16 MM (5/8") THICK
- 1.13.3. NON-LOAD BEARING STEEL STUDS SHALL BE IN ACCORDANCE WITH CAN/ CGSB. 1.13.4. EXTEND STUDS TO UNDERSIDE OF DECK OR STRUCTURE

1.13.7. ALL METAL COMPONENTS OF GYPSUM BOARD

1.13.8. ACCESSORIES SHALL COMPLY WITH ASTM C1047

ASSEMBLIES SHALL BE GALVANIZED

- ABOVE, UNLESS SHOWN OTHERWISE. 1.13.5. GYPSUM BOARD WORK SHALL COMPLY WITH CSA A82.31, AND THE DRYWALL CONSTRUCTION HANDBOOK 1.13.6. PROVIDE GYPSUM BOARD CEILINGS, WHERE INDICATED
- 1.13.9. THICKNESS: MIN. 5/8" / 16MM GWB 1.13.10.INCLUDE ALL SCREWS, CORNER BEADS, CASING BEADS.

1.13.11.STANDARD OF ACCEPTANCE: SUSPENSION SYSTEM FOR 1.13.11.1. ARMSTRONG - FRAMEALL FLAT DRYWALL GRID

1.14. SECTION 09 51 00 - ACOUSTIC CEILINGS 1.14.1. STANDARD OF ACCEPTANCE:

- 1.14.1.1. ARMSTRONG SCHOOL ZONE OR APPROVED EQUAL 1.14.1.1.1. PRODUCT: FINE FISSURED
- 1.14.1.1.2. NRC: 0.70 1.14.1.1.3. EDGE: SQUARE LAY-IN 1.14.1.1.4. LIGHT REFLECTANCE: 82% 1.14.1.1.5. SIZE: 610MM X 1220MM X 16MM

1.14.1.1. SUSPENSION GRID: PRELUDE XL 15/16" / 24MM

EXPOSED TEE GRID BY ARMSTRONG OR APPROVED

EQUAL 1.15. SECTION 09 65 13 - RESILIENT BASE AND ACCESSORIES

- 1.15.1. PROVIDE RESILIENT BASE INCLUDING BUT NOT LIMITED TO FOLLOWING: 1.15.1.1. RESILIENT BASE TO BE PROVIDE ON ALL GWB
- 1.15.1.2. COLOUR: REFER TO MATERIAL / FINISH SCHEDULE
- 1.16. <u>SECTION 09 65 19 LUXURY VINYL FLOORING</u> 1.16.1. PROVIDE LUXURY VINYL PLANK (LVP) FLOORING INCLUDING BUT NOT LIMITED TO FOLLOWING: 1.16.1.1. LVP AS INDICATED F1 ON THE FINISH SCHEDULE
- 1.16.1.2. PREPARATION OF SUB-FLOOR TO RECEIVE LVP, INCLUDING LEVELING ALL JOINTS AND SEALING SCREWS.
- 1.16.2. STANDARD OF ACCEPTANCE: 1.16.2.1. FORBO ALLURA FLEX 1.00, 63533FL1 1.16.2.2. TOTAL THICKNESS: 5mm, WEAR LAYER 1mm 1.16.2.3. SLIP RESISTANCE: R10

1.16.2.4. COLOUR: 63533 "LIGHT TIMBER" WITH IR EMBOSSING AND 4-SIDE BEVEL.

1.17. <u>SECTION 09 91 00 - PAINTING</u>

SCHEDULE.

- 1.17.1. PAINTING AND FINISHING MATERIALS SHALL COMPLY WITH OR EXCEED REQUIREMENTS FOR PREMIUM GRADE WORK. 1.17.2. CEILINGS SHALL BE PAINTED EXCEPT THOSE HAVING A
- FACTORY APPLIED FINAL FINISH. 1.17.3. EXCEPT FOR FACTORY-FINISHED SURFACES, AND WHERE DIRECTED OTHERWISE, ALL EXPOSED SURFACES INCLUDING PIPES DUCTWORK AND MECHANICAL SHALL BE PAINTED. COLOURS IN MECHANICAL ROOMS SHALL BE COLOUR CODED. ALL EQUIPMENT SHALL BE LABELED.
- 1.17.4. LATEX EGGSHELL FOR WALLS 1.17.5. LATEX FLAT FOR CEILINGS 1.17.6. LATEX SEMI-GLOSS FOR DOORS, DOOR FRAMES, HANDRAILS, GUARDRAILS
- 1.17.7. ALL PAINTING SYSTEMS ARE TO MEET THE OWNERS NEEDS FOR PRODUCT PERFORMANCE. 1.17.8. COLOUR AND FINISH: REFER TO MATERIAL / FINISH
- 1.18. <u>SECTION 12 24 13 ROLLER WINDOW SHADES</u>

SCREENS AND SIDELIGHTS.

1.18.3. OPENNESS FACTOR: 1%

- 1.18.1. STANDARD OF ACCEPTANCE: 1.18.1.1. HUNTER DOUGLAS ARCHITECTURAL. 1.18.2. PROVIDE SURFACE MOUNTED MANUALLY OPERATED ROLLER WINDOW SHADES TO ALL BUT NOT LIMITED TO INTERIOR GLAZED WINDOWS AND OFFICE INTERIOR
- 1.18.4. MANUALLY CONTROLLED BY STAINLESS BEAD CHAIN 1.18.5. COLOUR AND FINISH: PRESENTED AND SELECTED BY

Queen Elizabeth Elementary School

1.19. SECTION 10 11 16 - MARKERBOARDS

- 1.19.1. MATERIALS: 1.19.1.1. LAMINATING ADHESIVE: TO MANUFACTURER'S 1.19.1.2. JOINT REINFORCEMENT: CONCEALED MECHANICAL JOINTING SYSTEM TO PROVIDE STRAIGHT, RIGID,
- CONTINUOUSLY SUPPORTED, TIGHT BUTT, FLUSH JOINTS AT SURFACE 1.19.1.3. ANCHOR CLIPS, BRACKETS AND FASTENERS: CONCEALED TYPE RECOMMENDED BY
- MARKERBOARD MANUFACTURER FOR FIXED MOUNTING 1.19.1.4. FACINGS: HARDBOARD TO CAN/CGSB-11.3, 3MM 1.19.1.5. CORE: FIBREBOARD: TO CAN/CSA A247, TYPE II. OR
- PARTICLEBOARD: TO CAN3-0188.1, GRADE R OR PLYWOOD: TO CSA 0121. 1.19.2. COMPONENTS: 1.19.2.1. EXTRUDED ALUMINUM: ALUMINUM ASSOCIATION

ALLOY AA6063-T5.

- 1.19.2.2. MARKERBOARD TRIM AND FRAMING: PERIMETER TRIM OR FRAME, MAP RAIL WITH CORK INSERT, BOTTOM RAIL WITH INTEGRAL TROUGH AND END CLOSURES. OF MANUFACTURER'S STANDARD SECTIONS APPROPRIATE FOR INSTALLATION
- CONDITIONS. 1.19.3. FABRICATION: 1.19.3.1. FABRICATE MARKERBOARD PANELS TO SIZES INDICATED, MARKERBOARDS UP TO 3.6M LENGTH
- SHALL BE CONSTRUCTED IN ONE PIECE WITH NO SURFACE JOINTS. 1.19.3.2. MAKE FINISHED PANELS FLAT AND RIGID AND FIT WITH JOINT REINFORCEMENT.

1.19.3.3. INSTALL TRIM ON PANELS IN FACTORY. MAKE MITRES

- AND JOINTS TO HAIRLINE FIT FREE OF ROUGH EDGES. USE CONCEALED BRACKETS TO REINFORCE AND HOLD JOINTS TIGHT AND FLUSH. NO EXPOSED FASTENERS PERMITTED. 1.19.3.4. OVERLAP TRIM 6 MM ONTO PANELS. PROVIDE
- CLOSED ENDS FOR TROUGHS AND OPEN-END **FXTRUSIONS** 1.19.3.5. FACTORY FIT ASSEMBLIES TOO LARGE FOR
- SHIPMENT TO SITE IN ONE PIECE, DISASSEMBLE FOR DELIVERY AND SITE ASSEMBLY. 1.19.4. FINISHES:
- 1.19.4.1. PROPERTIES OF WRITING SURFACE: 1.19.4.1.1. SURFACE FINISH FOR ERASABLE MARKERS: WHITE PORCELAIN ENAMEL 1.19.4.1.2. UNAFFECTED BY SOLVENTS AND REAGENTS SUCH AS BENZENE. GASOLINE. ACETONE.

XYLOL, 10% CAUSTIC SODA, LACQUER THINNER

1.19.4.1.3. RESIST IMPACT TO 32 KG/CM (GARDNER IMPACT 1.19.4.1.4. WITHSTAND 180 DEGREE BEND ON ITSELF ON METAL SUBSTRATE WITHOUT CRACKING OR LOSS OF BOND

1.19.4.1.5. PASS ADHESION TEST CONSISTING OF

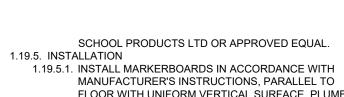
SCRATCHES 0.8 MM APART TO DEPTH OF SUBSTRATE, FOLLOWED BY CELLULOSE TAPE APPLICATION AND QUICK REMOVAL, WITHOUT DISLODGING ADJACENT FINISH 1.19.4.2. ALUMINUM TRIM FINISHES: FINISH EXPOSED SURFACES OF ALUMINUM COMPONENTS IN

ACCORDANCE WITH ALUMINUM ASSOCIATION

DESIGNATION SYSTEM FOR ALUMINUM FINISHES

1.19.4.2.1. CLEAR ANODIC FINISH. 1.19.4.3. ACCEPTABLE PRODUCTS: STANDARD MARKERBOARDS: RITE-ON, WIPE-OFF WRITING BOARDS, SERIES 400 CLASSIC BY ARCHITECTURAL

Sheet Title



AND LEVEL, TO PROVIDE RIGID, SECURE WRITING SURFACE 1.19.6. SCHEDULE 1.19.6.1. TWO (2) 1220MM x 2438MM MARKERBOARDS IN CLASSROOM 100 AS INDICATED ON DRAWINGS.

REFER TO INTERIOR ELEVATION FOR LOCATIONS.

- 1.20. <u>SECTION 10 11 23 TACKBOARDS</u> 1.20.1. MATERIALS
- THICKNESS 1.20.1.2. LAMINATING ADHESIVE: TO MANUFACTURER'S 1.20.1.3. MOUNTING ADHESIVE: TO MANUFACTURER'S STANDARD.

1.20.1.1. UTILITY SHEET ALUMINUM: PLAIN, 1.5 MM MINIMUM

CONCEALED TYPE RECOMMENDED BY MANUFACTURER SELECTED BY OWNER FOR FIXED 1.20.1.5. FACINGS: NATURAL CORK TACKBOARDS: SINGLE

1.20.1.4. ANCHOR CLIPS, BRACKETS AND FASTENERS:

- LAYER NATURAL CORK FINE GRAIN SHEET, 6.0 MM THICK. NATURAL COLOUR. 1.20.1.6. CORE: FIBREBOARD: TO CAN/ULC-S706, TYPE II, NATURAL COLOR.
- 1.20.1.7. BACKING: FIBREBOARD TO CAN/ULC-S706, TYPE II. 1.20.2. COMPONENTS 1.20.2.1. EXTRUDED ALUMINUM: ALUMINUM ASSOCIATION ALLOY AA6063-T5. MINIMUM 1.5 MM WALL THICKNESS 1.20.2.2. TACKBOARD TRIM AND FRAMING: PERIMETER TRIM
- OR FRAME, MAP RAIL WITH CORK INSERT, OF MANUFACTURER'S STANDARD SECTIONS APPROPRIATE FOR INSTALLATION CONDITIONS. 1.20.3. FABRICATION

1.20.4.1. ALUMINUM TRIM FINISHES.

1.20.3.1. FABRICATE TACKBOARD PANELS TO SIZES

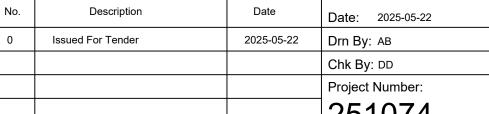
- 1.20.3.2. INSTALL TRIM ON PANELS IN FACTORY. MAKE MITRES AND JOINTS TO HAIR-LINE FIT, FREE OF ROUGH EDGES WITH CONCEALED BRACKETS TO REINFORCE AND HOLD JOINTS TIGHT AND FLUSH. NO EXPOSED
- FASTENERS PERMITTED. 1.20.3.3. OVERLAP TRIM 6.0 MM ONTO PANELS. PROVIDE CLOSED ENDS FOR OPEN-END EXTRUSIONS. 1.20.4. FINISHES
- 1.20.4.1.1. FINISH EXPOSED SURFACES OF ALUMINUM COMPONENTS IN ACCORDANCE WITH ALUMINUM ASSOCIATION DESIGNATION SYSTEM FOR ALUMINUM FINISHES. 1.20.4.1.2. CLEAR ANODIC FINISH: DESIGNATION AA-M32, C
- 12, C 22 A 31. 1.20.4.1.3. APPEARANCE AND PROPERTIES OF ANODIZED FINISHES DESIGNATED BY THE ALUMINUM ASSOCIATION AS ARCHITECTURAL CLASS 1, ARCHITECTURAL CLASS 2, AND PROTECTIVE AND DECORATIVE. 1.20.5. INSTALLATION

1.20.5.1. INSTALL TACKBOARDS IN ACCORDANCE WITH

MANUFACTURER'S INSTRUCTIONS, PARALLEL TO FLOOR WITH UNIFORM VERTICAL SURFACE PLUME AND LEVEL. TO PROVIDE RIGID. SECURE SURFACE 1.20.5.2. MECHANICAL ATTACHMENT: TO WOOD OR SHEET METAL USE SCREWS. SECURE INTO FRAMING MEMBERS IN STUD WALLS. 1.20.6. SCHEDULE

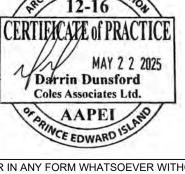
1.20.6.1. ONE (1) 1220MM x 1829MM TACKBOARD IN

CLASSROOM 100 AS INDICATED ON DRAWINGS.





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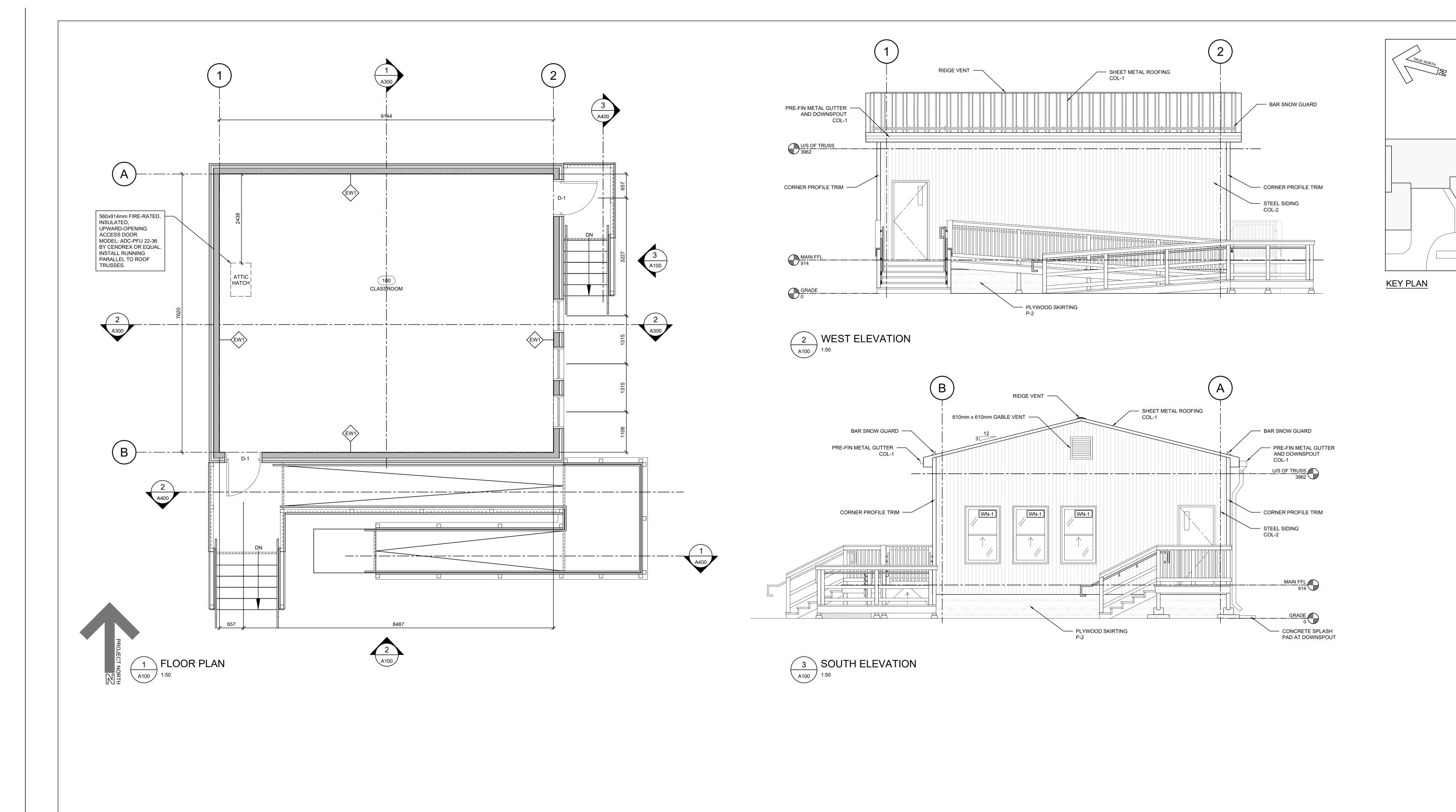
Prince Edward Island Department of Transportation and Infrastructure PEIG DTI #470-25016

Stand-Alone Mobile Classroom

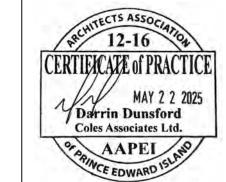
Project Info., Schedules & Legends Outline Specifications Partial Site Plan

251074 Drawing Number

Revision







Prince Edward Island Department of Transportation and Infrastructure PEIG DTI #470-25016

Queen Elizabeth Elementary School Stand-Alone Mobile Classroom

Architectural Floor Plan and Exterior Elevations

 No.
 Description
 Date
 Date: 2025-05-22
 Revision

 0
 Issued For Tender
 2025-05-22
 Drn By: AB
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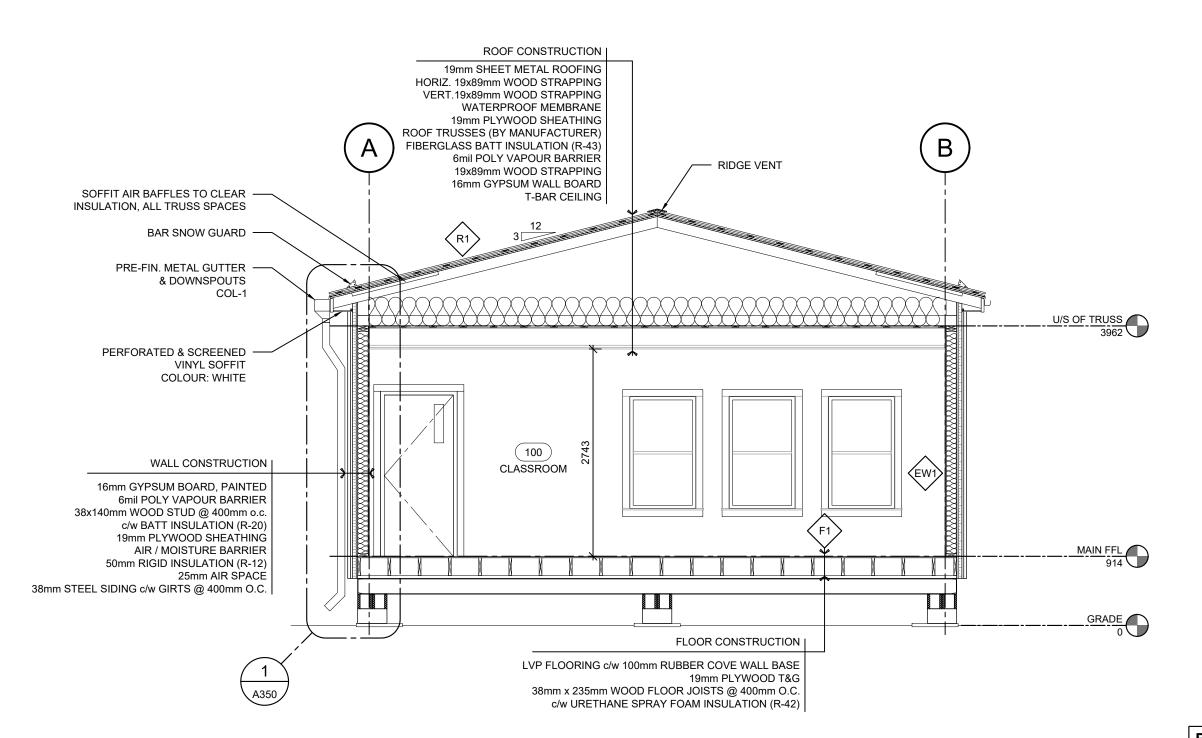
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 Project Number:
 251074

 Drawing Number:
 A100

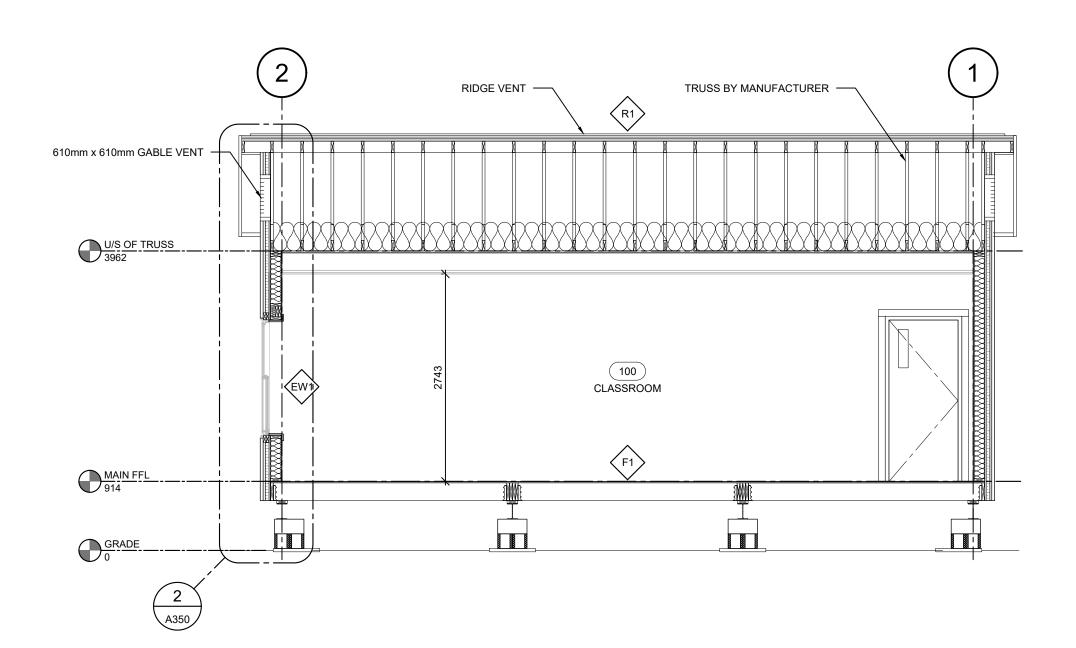
NEW MOBILE - CLASSROOM /

EX. SCHOOL

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ROUGH CARPENTRY & ROOF TRUSS NOTES

- ALL WOOD STRUCTURAL MEMBERS, ASSEMBLIES AND FASTENERS SHALL CONFORM TO THE REQUIREMENTS OF
- CSA STANDARD 086.1 (LATEST EDITION). ALL LUMBER SHALL BE IDENTIFIED BY THE GRADE MARK IN ACCORDANCE WITH THE MARKING PROVISIONS OF CSA
- STANDARD 0141. ALL LUMBER SHALL BE STRUCTURAL GRADE DRY, SPF NO. 2 MINIMUM, MOISTURE CONTENT NOT GREATER THAN 19%
- AT INSTALLATION. ALL PLYWOOD SHALL BE EXTERIOR GRADE DOUGLAS FIR
- PLYWOOD TO CSA 0121 AND MANUFACTURED WITH WATERPROOF GLUE. UNLESS NOTED OTHERWISE PROVIDE FULL WIDTH 38mm
- (1-1/2") THICK WOOD NAILER PLATE ON FLANGES OF STEEL BEAMS AS REQUIRED. SECURE WITH 12mm (1/2") DIA. BOLTS AT 610mm (24") ON CENTER STAGGERED.
- PROVIDE GALVANIZED METAL JOIST HANGERS WHERE JOISTS NOT SUPPORTED ON WALLS OR BEAMS. SIZE ADEQUATE TO SUPPORT DESIGN LOADS. ALL FASTENERS AND METAL IN CONTACT WITH PRESSURE
- TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR APPROVED EQUAL. SHEATHING SHALL BE FASTENED AT 150mm (6") ON CENTER AT EDGES AND END SUPPORTS AND AT 300mm (12") CENTERS AT INTERMEDIATE SUPPORTS.
- REQUIRED TRUSS/JOIST ANCHORS, CLIPS, HANGERS, ETC. SHALL BE DESIGNED AND SUPPLIED BY TRUSS/JOIST MANUFACTURER TO ACCOMMODATE ALL LOADS, INCLUDING UPLIFT.
- 0. VENTILATE AND FIRE STOP ALL SPACES TO NBCC REQUIREMENTS. . ALL TRUSSES SHALL BE DESIGNED FOR SNOW AND WIND
- LOAD AS PER NBCC AND INCREASED LOADS FOR SNOW DRIFT AT HIGHER OBSTRUCTIONS. 2. DESIGN TO SUPPORT THE LOADS INDICATED WITH A MAXIMUM SPAN DEFLECTION, UNDER LIVE LOAD, OF 1/240 FOR ROOF AND 1/480 FOR FLOOR. TRUSS MANUFACTURER TO SIZE AND PROVIDE REQUIRED LVL BEAMS.
- 3. DESIGN TEMPORARY ROOF AND WALL BRACINGS TO SUPPORT LOADS. 4. PROVIDE HORIZONTAL BRIDGING AS REQUIRED BY TRUSS
- DESIGN. REFER TO TRUSS SUPPLIERS SHOP DRAWINGS
- 15. MANUFACTURED WOOD TRUSS SYSTEM TO BE DESIGNED BY MANUFACTURER AND SEALED BY AN ENGINEER LICENSED TO PRACTICE IN PEI. PROVIDE GABLE END TRUSSES AS REQUIRED ALL
- PROVIDE 38mm x 89mm STRAPPING AT 600mm c/c ON TOP
- AND ACROSS BOTTOM CHORD OF WOOD TRUSSES. 18. COORDINATE TRUSS DESIGN AND CONFIGURATION WITH MECHANICAL DUCTING AND ADJUST TRUSS WEBBING AS REQUIRED TO SUIT.

SPECIFIED ROOF LOADS

ROOF DEAD LOAD: ROOFING SYSTEM = 10 PSF

= 10 PSF MECH + ELEC CEILING & FIXTURE = 5 PSF

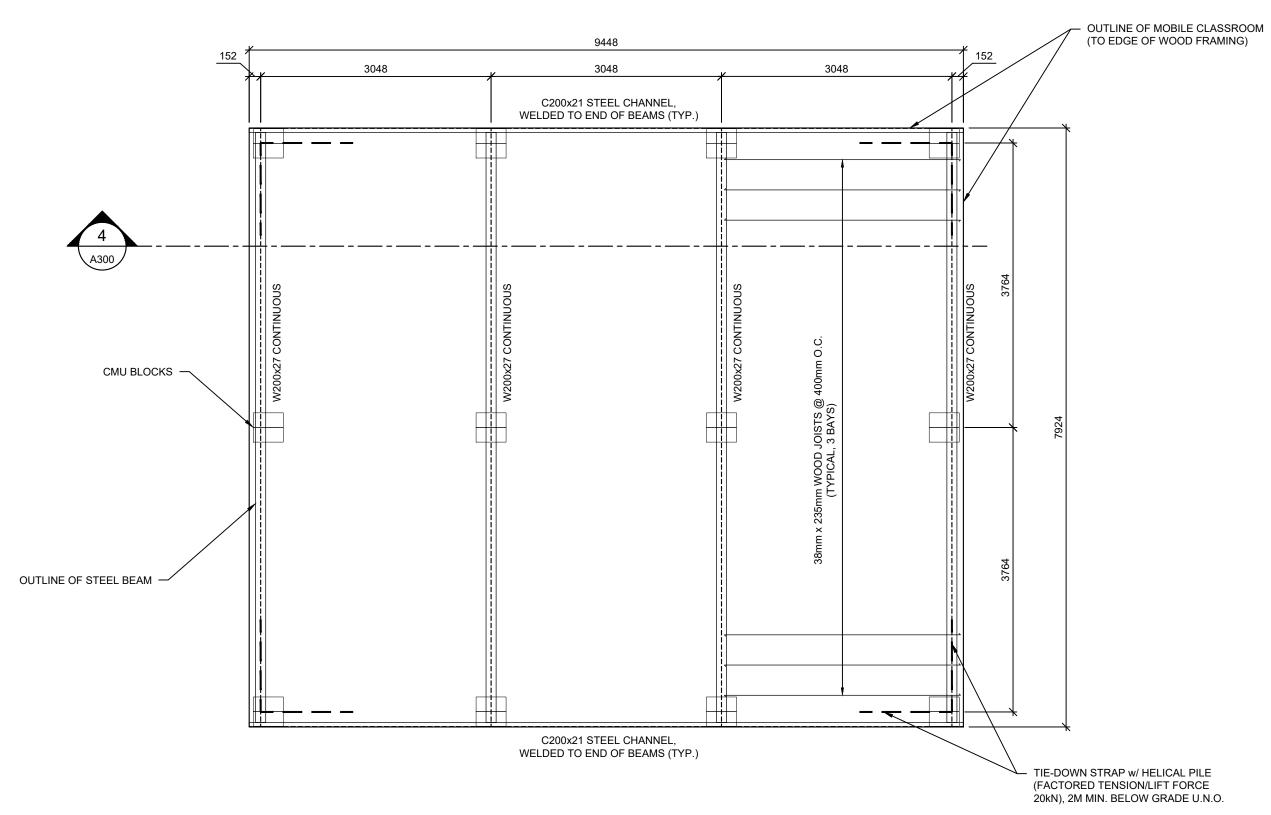
TOTAL DEAD LOAD: = 25 PSF ROOF LIVE LOAD:

SNOW STANDARD = 58 PSF WIND PRESSURE 1/10 = 10.0 PSF

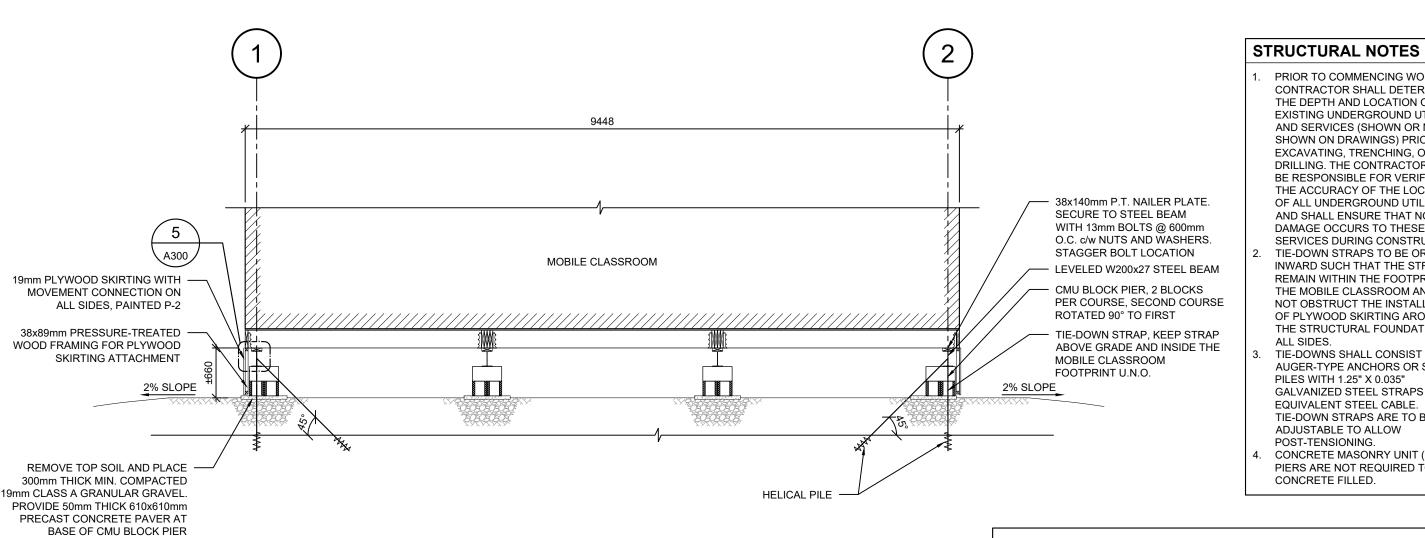
1/50 = 13.0 PSF

ROOF TRUSSES TO BE DESIGNED FOR NET UPLIFT OF 20 PSF. DESIGN ROOF TRUSSES FOR SNOW ACCUMULATION AS PER NBCC REQUIREMENTS.

TOTAL ROOF LOAD: = 83 PSF



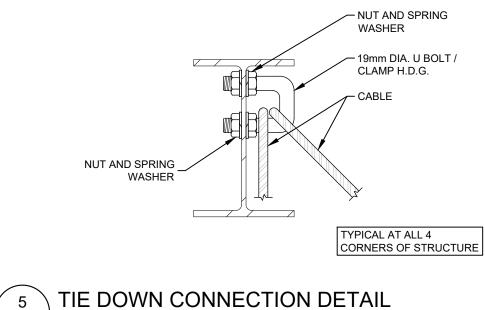
3 PLAN: MOBILE CLASSROOM STRUCTURE & FOUNDATION



PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND SERVICES (SHOWN OR NOT SHOWN ON DRAWINGS) PRIOR TO EXCAVATING, TRENCHING, OR DRILLING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE LOCATIONS OF ALL UNDERGROUND UTILITIES AND SHALL ENSURE THAT NO DAMAGE OCCURS TO THESE SERVICES DURING CONSTRUCTION. TIE-DOWN STRAPS TO BE ORIENTED INWARD SUCH THAT THE STRAPS REMAIN WITHIN THE FOOTPRINT OF THE MOBILE CLASSROOM AND DO NOT OBSTRUCT THE INSTALLATION OF PLYWOOD SKIRTING AROUND THE STRUCTURAL FOUNDATION ON ALL SIDES.

TIE-DOWNS SHALL CONSIST OF AUGER-TYPE ANCHORS OR SCREW PILES WITH 1.25" X 0.035" GALVANIZED STEEL STRAPS OR EQUIVALENT STEEL CABLE. TIE-DOWN STRAPS ARE TO BE ADJUSTABLE TO ALLOW POST-TENSIONING. CONCRETE MASONRY UNIT (CMU) PIERS ARE NOT REQUIRED TO BE CONCRETE FILLED.

✓ 4 \ SECTION: MOBILE CLASSROOM STRUCTURE & FOUNDATION



A300 1:5

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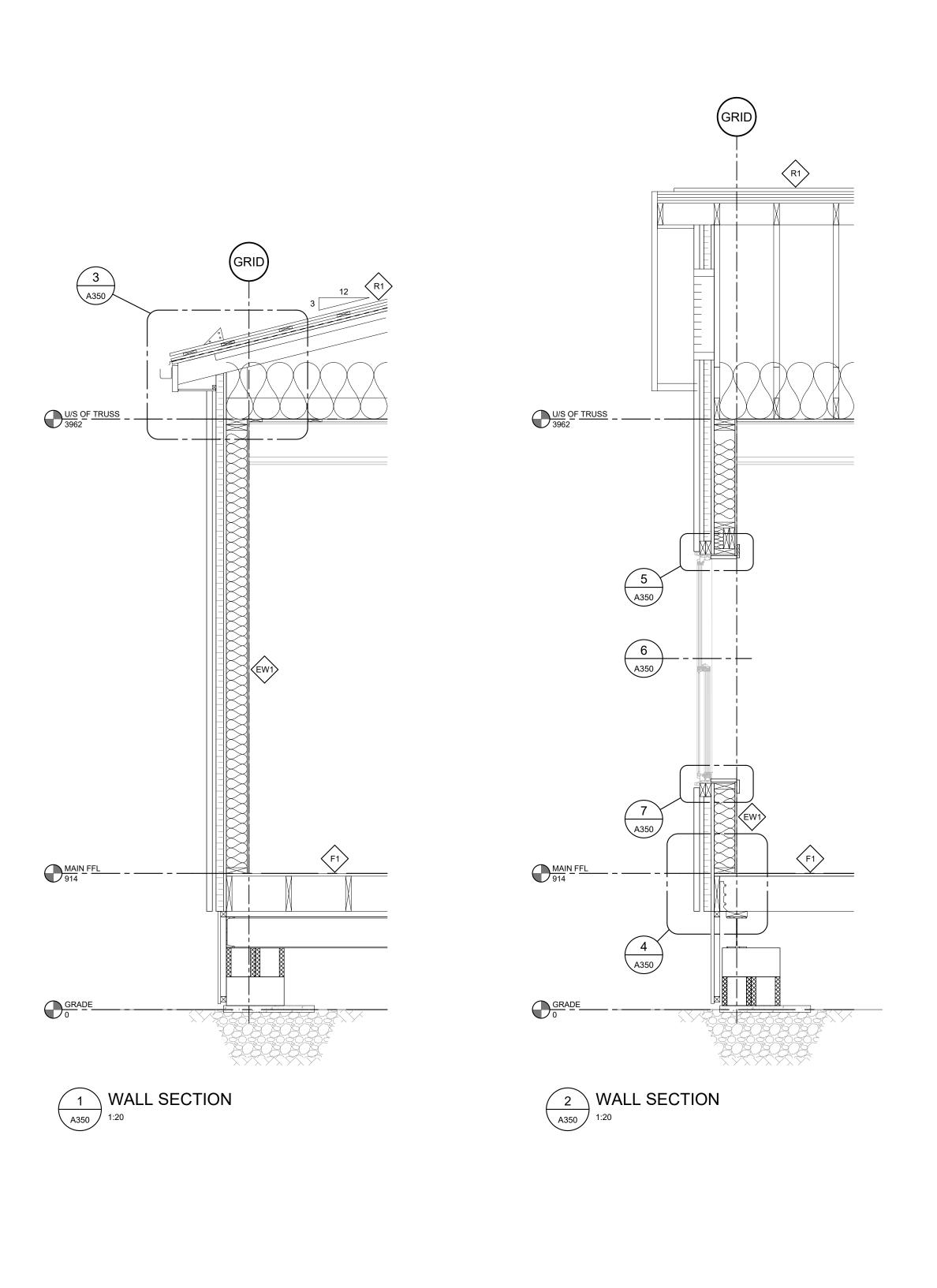
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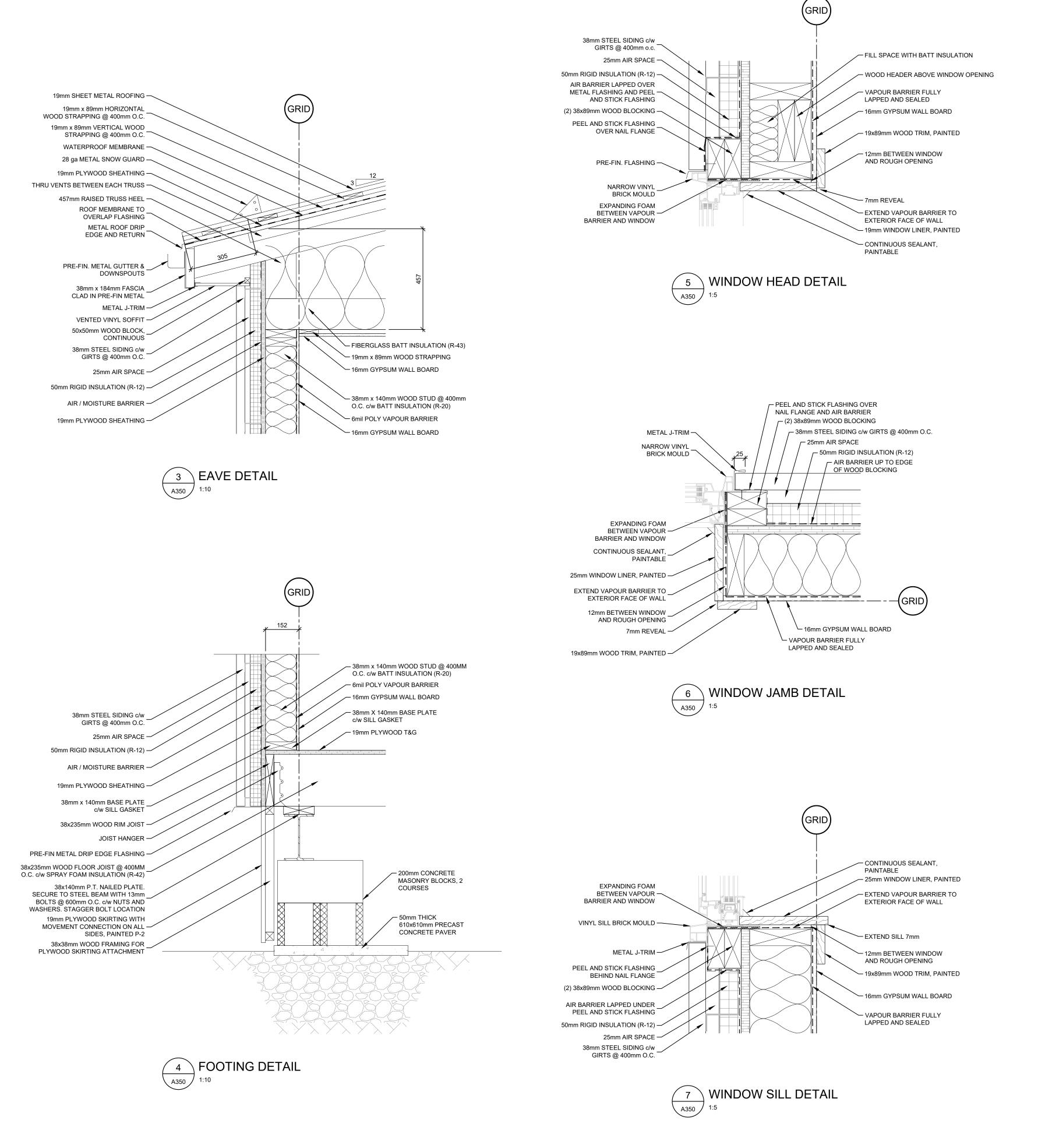
AAPEI

Queen Elizabeth Elementary School Stand-Alone Mobile Classroom

Sheet Title **Building Sections** and Structural Details

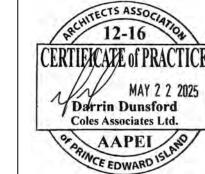
Revision Date: 2025-05-22 2025-05-22 | Drn By: AB Issued For Tender Chk By: DD Project Number: 251074 Drawing Number:





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Prince Edward Island Department of Transportation and Infrastructure PEIG DTI #470-25016

Queen Elizabeth Elementary School Stand-Alone Mobile Classroom

Wall Sections & Details

No. Description

Date

Date: 2025-05-22

Drn By: AB

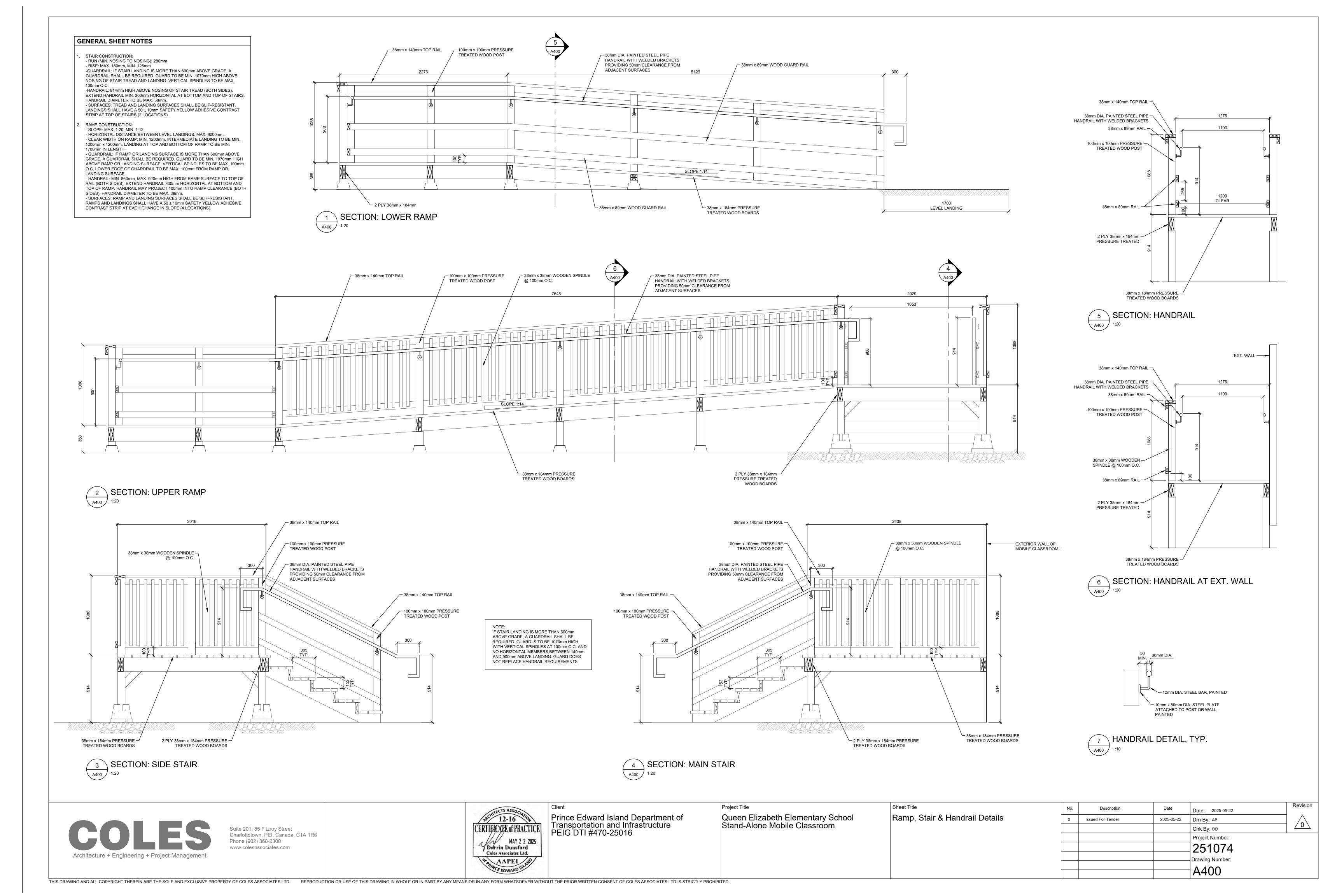
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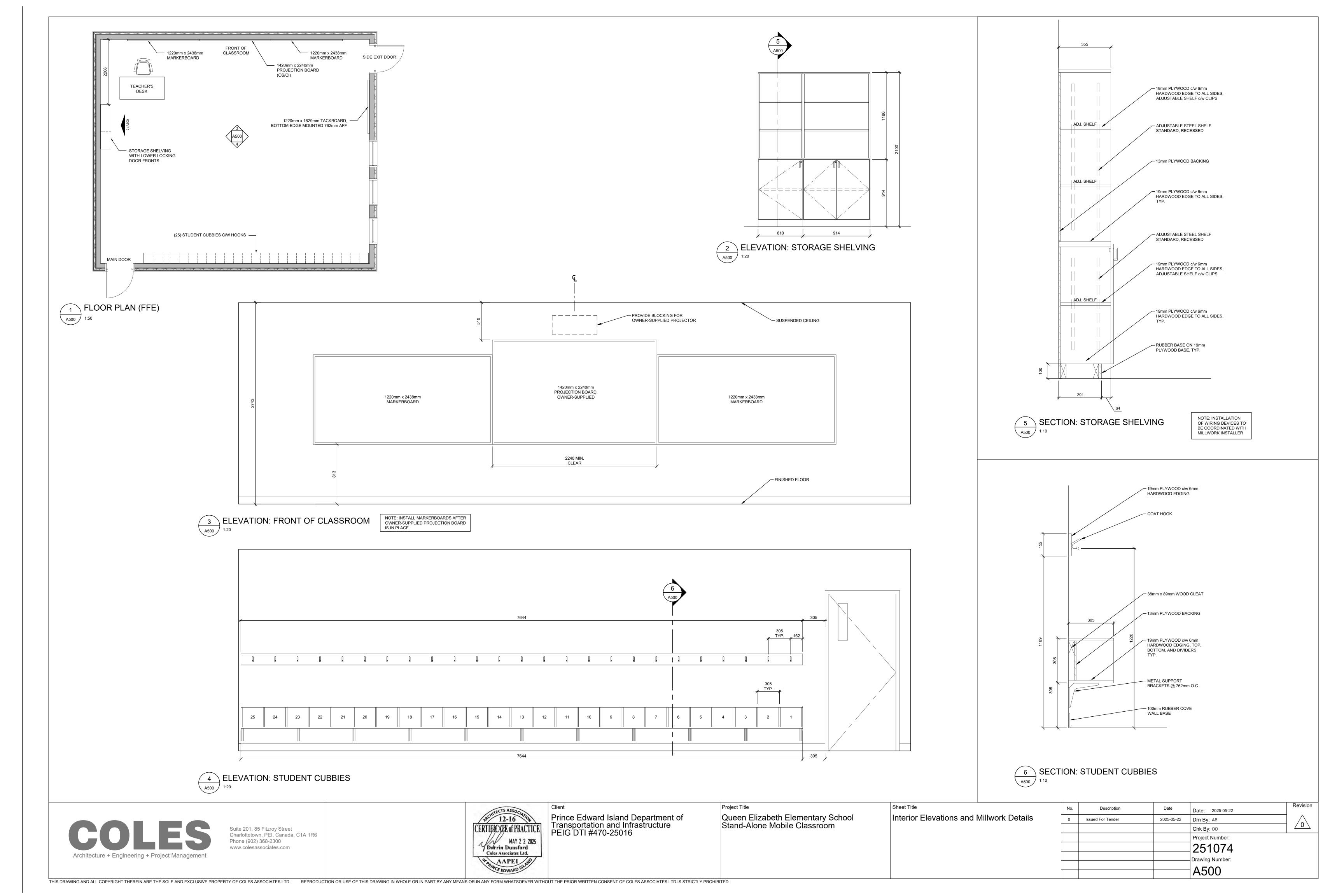
Project Number:

251074

Drawing Number:

A350





1. GENERAL

1.1. GENERAL

1.1.1. THE FOLLOWING GENERAL CONDITIONS SHALL BE READ IN CONJUNCTION WITH THE GENERAL CONDITIONS AND SPECIAL CONDITIONS ISSUED BY THE PROJECT MANAGER.

1.2. SCOPE OF WORK

1.2.1. THE WORK SHALL INCLUDE THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, PLANT TOOLS AND SERVICES NECESSARY FOR THE INSTALLATION OF THE MECHANICAL SYSTEMS AS INDICATED. THE WORK SHALL INCLUDE THE

1.2.1.1. PLUMBING:

1.2.1.1.1. PROVIDE CONDENSATE DRAIN FROM HEAT PUMPS.

1.2.1.2. HEATING:

1.2.1.2.1. PROVIDE ELECTRIC HEATERS AND HEAT PUMPS AS NOTED.

1.2.1.3. VENTILATION:

1.2.1.3.1. PROVIDE ENERGY RECOVERY VENTILATORS, AND DUCTWORK AS

1.2.1.4. CONTROLS:

1.2.1.4.1. ALL HVAC UNITS SHALL BE CONTROLLED USING THERMOSTATS SUPPLIED BY THE OEM, CAPABLE OF 7-DAY PROGRAMMABLE SCHEDULING.

1.2.1.5. FIRE PROTECTION:

1.2.1.5.1. PROVIDE TYPICAL 10 LB ABC FIRE EXTINGUISHERS INDICATED BY THE

1.3. DRAWINGS

1.3.1. THE DRAWINGS FOR THE WORK ACCOMPANYING THESE SPECIFICATIONS ARE MADE AS ACCURATELY AS POSSIBLE, BUT ABSOLUTE ACCURACY OF DIMENSIONS CANNOT BE GUARANTEED. THEY ARE INTENDED TO SUPPLEMENT AND SIMPLIFY THE GENERAL CONTRACT DRAWINGS. NO CLAIM FOR EXTRA PAYMENT ON ACCOUNT OF DIFFERENCE OF ACTUAL AND ESTIMATED DIMENSIONS SHALL BE ALLOWED. IN THE CASE OF DISCREPANCY OF FIGURE DIMENSIONS ON THE DRAWINGS, THE MATTER SHALL BE IMMEDIATELY SUBMITTED TO THE ENGINEER FOR THEIR DECISION. WITHOUT THE DECISION, THE DISCREPANCY SHALL NOT BE ADJUSTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BEAR ALL EXTRA EXPENSES INVOLVED IN COMPLICATIONS ARISING FROM MAKING ADJUSTMENTS WITHOUT APPROVAL FROM THE OWNER. INTERPRETATION OF ALL DOCUMENTS SHALL BE BY THE ENGINEER.

1.4. EXTRA WORK

1.4.1. NO ADDITIONAL MONEY OVER CONTRACT PRICE SHALL BE PAID UNLESS CONTRACTOR RECEIVES A SIGNED APPROVAL IN ACCORDANCE WITH THE GENERAL CONDITIONS. NO ADDITIONAL MONEY SHALL BE PAID FOR USE OF EQUAL PRODUCTS.

1.5. QUALIFICATIONS

1.5.1. WORK SHALL BE COMPLETED BY A LICENSED CONTRACTOR CERTIFIED FOR THE INSTALLATION OF SYSTEMS AND EQUIPMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL CODES AND REGULATIONS.

1.6. WARRANTY

1.6.1. ALL EQUIPMENT, MATERIAL AND LABOUR PROVIDED BY THE CONTRACTOR SHALL BE GUARANTEED TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTED SUBSTANTIAL COMPLETION. CONTRACTOR SHALL REPAIR OR REPLACE ANY EQUIPMENT OR MATERIAL WHICH IS DEFECTIVE OR IMPROPERLY INSTALLED. IN ADDITION, THIS CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE TO THE BUILDINGS AND ITS CONTENTS OR OTHER EQUIPMENT, CAUSED BY DEFECTS OR IMPROPER INSTALLATION OF EQUIPMENT.

1.7. COOPERATION WITH OTHER TRADES

1.7.1. CONTRACTOR MUST COORDINATE CLOSELY WITH ALL OTHER TRADES AND WITH EXISTING SERVICES AS CEILING SPACE WILL BE LIMITED IN SOME PLACES. WORK IS TO BE EXECUTED IN A MANNER SO AS TO CAUSE MINIMUM DISRUPTION. ALL SERVICE INTERRUPTIONS SHALL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS. THIS CONTRACTOR SHALL INCLUDE ALL COSTS FOR OVERTIME WORK INVOLVED WITH THE CONSTRUCTION.

1.8. EXAMINATION OF SITE

1.8.1. BEFORE TENDERING, EXAMINE THE SITE AND THE LOCAL CONDITIONS AFFECTING
THE WORK OF THIS CONTRACT. NO ALLOWANCE WILL BE MADE FOR ANY EXPENSE
INCURRED THROUGH FAILURE TO MAKE THIS EXAMINATION.

1.9. PERMITS, FEES AND CERTIFICATES

1.9.1. APPLY FOR, OBTAIN, AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED.

1.9.2. ANY ADDITIONAL MATERIALS OR LABOUR REQUIRED TO CONFORM TO ANY OF THE REGULATIONS OR REQUIREMENTS OF AHJ SHALL BE FURNISHED UNDER THE CONTRACT WITH NO ADDITIONAL COST TO THE OWNER.

1.10. CLEAN UP AND REMOVALS

1.10.1. THE CONTRACTORS SHALL, AT ALL TIMES, KEEP THE SITE NEAT, CLEAN AND FREE FROM ACCUMULATION OF WASTE, MATERIALS AND RUBBISH WHICH ARISE OUT OF THEIR WORK. ALL MATERIAL DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF OF

1.11. INSTALLATION AND COMMISSIONING OF EQUIPMENT

11.1. MANUFACTURER'S INSTRUCTIONS SHALL BE MADE AVAILABLE TO BOTH THE INSTALLING TRADESMEN AND THE ON-SITE INSPECTOR PRIOR TO INSTALLATION OF EQUIPMENT. THESE INSTRUCTIONS ARE TO BE READ, UNDERSTOOD AND CLOSELY FOLLOWED. FAILURE TO ABIDE BY THIS REQUIREMENT WILL PROVIDE JUSTIFICATION FOR THE ENGINEER TO REQUIRE REMOVAL AND RE-INSTALLATION.

1.11.2. ENSURE THAT ALL SAFETY DEVICES AND OTHER SIGNIFICANT ACCESSORIES ARE IN PLACE AND OPERABLE BEFORE STARTING MAJOR PIECES OF EQUIPMENT. AS PART OF THE COMMISSIONING PROCESS ACCESSORIES ARE TO BE CHECKED, CALIBRATED AND ADJUSTED AS NECESSARY TO ENSURE SAFE OPERATION.

1.11.3. FOLLOW MANUFACTURER'S INSTRUCTIONS IN DETAIL IN ESTABLISHING COMMISSIONING PROCEDURE.

1.12. DEMONSTRATION OF COMPLETE SYSTEMS

1.12.1. AT THE CONCLUSION OF THE JOB, THE CONTRACTOR SHALL REVIEW AND DEMONSTRATE TO THE OWNER ALL EQUIPMENT AND THEIR RESPECTIVE FUNCTIONS AND OPERATION. SUCH DEMONSTRATION SHALL BE PROVIDED FOR SUCH REASONABLE PERIODS OF TIME AS THE COMPLEXITY OF THE JOB WARRANTS, AND AS APPROVED BY THE ENGINEER. SUCH REVIEW AND DEMONSTRATION SHALL BE MADE BY AN AUTHORIZED REPRESENTATIVE OF THE CONTRACTOR, FULLY KNOWLEDGEABLE OF THE PROJECT, IT'S INSTALLATION AND OPERATION.

1.12.2. PROVIDE THE ENGINEER WITH A SCHEDULE OF SYSTEM DEMONSTRATION AT LEAST TWO (2) WEEKS PRIOR TO DEMONSTRATION.

1.13. FINAL INSPECTION

1.13.1. PRIOR TO SUBSTANTIAL COMPLETION AND FINAL INSPECTION OF THE PROJECT, CONTRACTOR WILL INSPECT THE PROJECT, PROVIDE A MECHANICAL DEFICIENCY LIST, PROVIDE CONFIRMATION THAT ALL ITEMS ON THE LIST HAVE BEEN CORRECTED, PROVIDE THE OPERATION AND MAINTENANCE MANUALS, PROVIDE THE RECORD DRAWINGS, BALANCING REPORTS AND PROVIDE THE DEMONSTRATION OF THE COMPLETED MECHANICAL SYSTEMS.

1.13.2. ALL OF THE ABOVE MUST BE COMPLETED PRIOR TO THE FINAL INSPECTION BY THE ENGINEER AND SUBSTANTIAL COMPLETION OF THE MECHANICAL SYSTEMS.

1.14. SHOP DRAWINGS

1.14.1. CONTRACTOR TO SUBMIT ELECTRONIC SET OF SHOP DRAWINGS FOR REVIEW.
PRIOR TO PROCUREMENT, ALLOW MINIMUM 10 BUSINESS DAYS FOR REVIEW.

1.15. OPERATION AND MAINTENANCE MANUAL

1.15.1. CONTRACTOR SHALL INSTRUCT THE OWNER IN OPERATION OF MAINTENANCE OF ALL EQUIPMENT AND SYSTEMS INSTALLED. ALL SAFETY AND CONTROL FEATURES SHALL BE THOROUGHLY EXPLAINED. CONTRACTOR TO PROVIDE MAINTENANCE MANUALS FOR ALL EQUIPMENT INSTALLED, THREE (3) COPIES ORGANIZED IN 215.9mm x 279.4mm BINDERS TO BE PROVIDED TOGETHER WITH ALL APPROVED SHOP DRAWINGS AND A SPARE PARTS LIST.

1.16. RECORD DRAWINGS

1.16.1. CONTRACTOR TO PROVIDE AS-BUILT RECORD DRAWINGS.

1.17. IDENTIFICATION

1.17.1. EQUIPMENT IDENTIFICATION

1.17.1.1. PROVIDE FIELD LAMACOID NAME PLATE (150mm AND 75mm WITH 6mm LETTERS), BLOCK FACE, WHITE LETTERS ON HEAT PUMPS, DUCT HEATERS,

1.17.1.1.1 EQUIPMENT NAME AND TAG NUMBER

1.17.1.1.2. VOLTAGE AND AMPERAGE

1.17.1.1.3. CAPACITY OR SIZE

1.17.1.1.4. DATE OF INSTALLATION

1.17.2. DUCT IDENTIFICATION

.17.2.1. ALL SUPPLY, RETURN, EXHAUST AND OUTDOOR AIR DUCTWORK SHALL BE LABELED WITH:

1.17.2.1.1. 50mm HIGH BLACK STENCILED LETTERS

1.17.2.1.2. DIRECTION OF AIRFLOW1.17.2.1.3. SERVICE TYPE

1.17.3. PIPING IDENTIFICATION

1.17.3.1. IDENTIFY ALL PIPING SYSTEMS (REFRIGERANT LINES, CONDENSATE DRAINS)
USING MARKED OR STENCILED LABELS, IDENTIFY:

1.17.3.1.1. CONTENTS (CONDENSATE, REFRIGERANT LIQUID, ETC.).

1.17.3.1.2. FLOW DIRECTION

1.17.3.1.3. TEMPERATURE AND PRESSURE WHERE APPLICABLE

1.17.3.2. USE COLOUR CODED IDENTIFICATION PER ANSI/ASME A13.1

1.18. STANDARDS OF ACCEPTANCE

1.18.1. ALL EQUIPMENT MANUFACTURERS LISTED FORM THE STANDARD OF ACCEPTANCE FOR THE EQUIPMENT REQUIRED. ALTERNATE EQUIPMENT MAY BE SUBSTITUTED ONLY AFTER RECEIVING APPROVED EQUAL STATUS FROM ENGINEER DURING TENDER PROCESS ONLY. PROVIDE SHOP DRAWINGS ON ALL MAJOR EQUIPMENT PRIOR TO ORDERING ANY EQUIPMENT. IF ALTERNATE EQUIPMENT IS APPROVED BY ENGINEER ALL COSTS ASSOCIATED WITH ANY REQUIRED MODIFICATIONS, CHANGES, ETC TO USE THE ALTERNATE EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

1.19. CLEANING AND FINAL ADJUSTMENT

1.19.1. CLEAN INTERIOR AND EXTERIOR OF ALL SYSTEMS INCLUDING STRAINERS AND AIR

1.19.2. CLEAN AND REFURBISH ALL EQUIPMENT AND LEAVE IN FIRST CLASS OPERATING CONDITION INCLUDING REPLACEMENT OF ALL FILTERS IN ALL AIR AND PIPING SYSTEMS.

1.19.3. BALANCE AND ADJUST ALL SYSTEMS AND EACH PIECE OF EQUIPMENT TO OPERATE

1.20. CUTTING AND PATCHING

1.20.1. ALL CUTTING AND PATCHING WILL BE THE RESPONSIBILITY OF THIS CONTRACTOR.1.21. SLEEVES

1.21.1. THE CONTRACTOR IS TO SUPPLY AND SET IN PLACE PIPE AND/OR DUCT SLEEVES IN FLOOR, ROOF OR FIRE WALLS.

1.22. EXCAVATION AND BACKFILLING

1.22.1. ALL EXCAVATION AND BACKFILLING WILL BE THE RESPONSIBILITY OF THIS

CONTRACTOR.

1.23. FIRESTOPPING AND SMOKE SEALS

1.23.1. ALL FIRESTOPPING AND SMOKE SEALS REQUIRED TO PROPERLY ACCOMMODATE THE WORK OF THIS DIVISION SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR.

1.23.2. WHERE COMBUSTIBLE PIPES PASS THROUGH FIRE RATED WALLS, FLOORS AND PARTITIONS, A RATED FIRE STOP DEVICE SHALL BE USED TO MEET CODE IN ACCORDANCE WITH CAN4-S115.

1.23.3. WHERE NON-COMBUSTIBLE PIPES PASS THROUGH FIRE SEPARATIONS, INTUMESCENT CAULKING SHALL BE USED TO FILL VOIDS BETWEEN PIPE AND WALL ON BOTH SIDES.

1.23.4. STANDARD OF ACCEPTANCE: HILTI, DOW CORNING, 3M, OR EQUAL.

1.24. PROTECTION OF OPENINGS

.24.1. PROTECT EQUIPMENT, SYSTEM OPENINGS INCLUDING ROUGH-IN PLUMBING FROM DIRT, DUST AND OTHER FOREIGN MATERIALS WITH MATERIALS COMPATIBLE TO THE SYSTEM.

1.25. ACCESS DOORS

1.25.1. THIS CONTRACTOR TO PROVIDE ACCESS DOORS FOR FURRED CEILINGS OR SPACES FOR SERVICING EQUIPMENT AND ACCESSORIES OR FOR INSPECTION OF SAFETY, OPERATING OR FIRE DEVICES FOR INSTALLATION UNDER CONTRACT ERECTING THE WALLS OR CEILINGS. SUPPLY ULC RATED DOORS IN FIRE RATED CONSTRUCTION.

1.25.2. ACCESS DOORS SHALL BE FLUSH MOUNTED 600mm x 600mm FOR BODY ENTRY, 300mm x 300mm FOR HAND ENTRY, OR AS NOTED ON THE DRAWINGS. DOORS SHALL OPEN 180°, HAVE ROUNDED SAFETY CORNERS, CONCEALED HINGES, CYLINDER KEY LOCKS, AND ANCHOR STRAPS. STEEL SHALL BE PRIME COATED. DOORS SHALL BE OF APPROVED MANUFACTURER WITH PUBLISHED LITERATURE.

1.25.3. PROVIDE CAM TYPE LOCKING DEVICE WITH CYLINDER KEY LOCK COMPLETE WITH MASTER KEYS.

1.25.4. STANDARD OF ACCEPTANCE: MIFAB #UA, WILLIAMS BROTHERS #WB SERIES, OR

26. SAFETY

1.26.1. CONTRACTOR SHALL WORK UNDER THE REQUIREMENTS OF THE GENERAL CONTRACTORS SITE SAFETY PLAN. CONTRACTOR IS TO COMPLY WITH ALL REQUIREMENTS OF THE PROVINCIAL OCCUPATIONAL HEALTH AND SAFETY ACT, REGULATION AND WORKERS COMPENSATION BOARD. CONTRACTOR SHALL REVIEW ANY SITE SPECIFIC SAFETY REQUIREMENTS WITH OWNER AND ATTEND TRAINING AS REQUIRED PRIOR MOBILIZATION TO SITE.

1.26.2. CONTRACTOR SHALL PROVIDE A LOCK-OUT/TAG-OUT PROCEDURE THAT GUARANTEE ISOLATION OF EQUIPMENT PRIOR TO STARTING WORK.

1.26.3. CONTRACTOR SHALL HAVE SAFE LIFT PROCEDURES IN PLACE WHEN USING A CRANE TO SET EQUIPMENT IN-PLACE. CONTRACTOR TO PROVIDE BARRICADES AND PEOPLE TO DIRECT TRAFFIC INSIDE THE BUILDING AROUND LIFT AREA EXTERNAL TO THE BUILDING.

SPACE TO THE EXTERIOR WALL, AND PROVIDED WITH A DOWNSPOUT PIPE

PAD TO LIMIT GROUND EROSION NEAR THE DISCHARGE.

6.1. ROOMS WITH SPLIT HEAT PUMP CASSETTES ARE TO USE THE HEAT-PUMP VENDOR

6.2.1. PROGRAMMABLE THERMOSTAT WITH LCD SCREEN AND THE FOLLOWING

6.2.5. 7-DAY SCHEDULER, WITH MINIMUM DAY, NIGHT AND AWAY MODES.

6.2.8. STANDARD OF ACCEPTANCE: DAIKIN ONE, OR EQUAL

6.2.6. MULTI SETPOINT CONTROL (I.E. COOLING SETPOINT, AND HEATING SETPOINT)

SUPPLIED THERMOSTAT TO CONTROL HEATING AND COOLING WITHIN THE ZONE. NEW ELECTRIC DUCT HEATER TO BE CONTROLLED FROM AN EXTERNAL HEAT ADAPTOR

TWO-STAGE HEATING CONTROL (HEAT PUMP FIRST STAGE, ELECTRIC RESISTIVE

6. CONTROLS

CONTROLLED BY THE HEAT PUMP.

6.2. HEAT PUMP THERMOSTAT

SECOND STAGE)
6.2.3. ONE STAGE COOLING

6.2.4. VENTILATION UNIT CONTROL

6.2.7. FAN-ONLY MODE SCHEDULER

COMPLETE WITH INSECT SCREEN AT OUTLET, PROVIDE CONCRETE SPLASH

2. <u>INSULATION</u>

2.1. PIPING

2.1.1. PROVIDE INSULATED LINESET FOR REFRIGERANT WITH CLOSED CELL FLASTOMERIC INSULATION

2.1.2. PROVIDE 15mm WALL FIBREGLASS INSULATION ON CONDENSATE DRAINAGE LINES WITHIN THE CEILING SPACE.

2.2. DUCTWORK

2.2.1. SUPPLY DUCTWORK:

2.2.1.1. PROVIDE 25mm THICK FIBERGLASS DUCT INSULATION c/w FACTORY APPLIED FOIL SCRIM-KRAFT VAPOUR JACKET.

2.2.1.2. PROVIDE 25mm ACOUSTIC INSULATION ON MAIN DUCTS

2.2.2. RETURN DUCTWORK:

2.2.2.1. 25mm ACOUSTIC INSULATION

2.2.3. OUTDOOR AIR INTAKE DUCTWORK & PLENUM:

2.2.3.1. PROVIDE 50mm THICK FIBERGLASS DUCT INSULATION c/w FACTORY APPLIED FOIL SCRIM-KRAFT VAPOR JACKET.

2.2.4. EXHAUST DUCTWORK DUCTWORK & PLENUM:

2.2.4.1. PROVIDE 50mm THICK FIBERGLASS DUCT INSULATION c/w FACTORY APPLIED FOIL SCRIM-KRAFT VAPOR JACKET.

2.2.5. INSTALL DUCT INSULATION WITH WELD PINS AND CLIPS. SEAL ALL JOINTS AND PENETRATIONS WITH FOIL TAPE. INSULATE AFTER DUCTWORK HAS BEEN SEALED AND INSPECTED. ALL DUCT HANGERS AND ANGLE IRON SUPPORTS SHALL BE LOCATED OUTSIDE OF DUCT INSULATION.

3. <u>PLUMBING</u>

3.1. GENERAL

3.1.1. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH NBC, CPC, AND AUTHORITIES HAVING JURISDICTION.

3.2. PIPING

3.2.1. CONDENSATE DRAINLINE INSIDE OF THE BUILDING TO BE TYPE L COPPER.

3.2.2. CONDENSATE DRAINLINE OUTSIDE OF THE BUILDING MAY BE PEX.

4. <u>VENTILATION</u>

4.1. GENERAL

4.1.1. ALL DUCTWORK AND HANGERS SHALL BE CONSTRUCTED FROM LOCK FORMING QUALITY STEEL WITH G90 DESIGNATION ZINC COATING TO ASTM A525 M80 TO SMACNA STANDARDS BASED ON 50mm SP. IN DUCTS. DUCTWORK TO BE SEALED TO SMACNA CLASS "C" STANDARDS.

4.1.2. CONTRACTOR RESPONSIBLE FOR ALL DUCT TRANSITIONS TO/FROM MECHANICAL EQUIPMENT, DIFFUSERS, GRILLES, CROSSOVERS, AROUND OBSTRUCTIONS, ETC., AS REQUIRED. PROVIDE FLEX CONNECTIONS TO ALL AIR HANDLING EQUIPMENT. MAXIMUM OF 1500mm FLEX. DUCT ON BRANCHES TO DIFFUSERS.

4.1.3. FABRICATE HANGERS AND SUPPORTS IN ACCORDANCE WITH SMACNA CONSTRUCTION STANDARDS. HANGER SPACING SHALL BE AS THE FOLLOWING

SCHEDULE:			
LONGEST SIDE	TRAPEZE SHELF ANGLE	HANGER RODS	HANGER SPACING
UP TO 750mm	25 x 25 x 3mm	6mm	2.5m

4.2. BALANCING DAMPERS

4.2.1. PROVIDE EXTERNAL BALANCING DAMPERS ON ALL DIFFUSERS AS CLOSE TO TRUNK DUCT AS POSSIBLE.

4.7. STARTUP

4.7.1. PROVIDE START UP SERVICE FOR ALL AIR CONDITIONING UNITS INSTALLED UNDER THIS CONTRACT. STARTUP SHALL BE PROVIDED BY FACTORY TRAINED PERSONNEL. COMPLETE TO MANUFACTURERS INSTRUCTIONS.

4.8. BALANCING

8.1. AABC CERTIFIED CONTRACTOR SHALL TEST AND BALANCE ALL AIR SUPPLY, RETURN, AND EXHAUST SYSTEMS SPECIFIED.

4.8.2. EACH OUTLET SHALL BE ADJUSTED BY A FLOW HOODS ANEMOMETER.

READINGS TO PROVIDE AIR QUANTITIES SPECIFIED.

4.8.4. UPON COMPLETION OF THE BALANCING, SUPPLY THE ENGINEER WITH THREE (3)

COMPLETE RECORDS WHICH SHALL INCLUDE AIR QUANTITIES AT EACH OUTLET. 4.9. PACKAGED ENERGY RECOVERY VENTILATOR:

4.9.1. SEE SCHEDULE FOR CAPACITY.

4.9.2. INSULATED CABINET, COMPLETE WITH FACTORY WIRING HARNESS, SINGLE POINT ELECTRICAL CONNECTIONS, FANS MOUNTED IN CABINET WITH MOTORS, ACCESS DOORS, NON FROSTING CORE, STATIC PLATE ENERGY RECOVERY CORE.

4.9.3. ACCEPTABLE MANUFACTURERS: FANTECH, ALDES, RENEWAIRE.

5. <u>HEATING AND COOLING</u>

5.1. HEATING

5.1.1. ELECTRIC DUCT HEATER: CSA LISTED, FACTORY ASSEMBLED, COMPLETE WITH OVER-TEMPERATURE PROTECTION, AUTOMATED MANUAL RESET THERMAL CUTOUTS, AIRFLOW SWITCHES AND TERMINAL BLOCK. PROVIDE CONTROL BOARD AND RELAY MODULES TO INTEGRATE DUCT HEATER WITH HEAT PUMP.

5.1.2. MECHANICAL CONTRACTOR SHALL COORDINATE ALL MANUFACTURER'S WIRING DETAILS AND REQUIREMENTS WITH DIV. 26. LINE VOLTAGE BY DIV. 26 AND LOW VOLTAGE BY THIS CONTRACTOR.

5.2. HEAT PUMP SYSTEMS

5.2.1. GENERAL5.2.1.1. HEAT PUMP SYSTEMS TO BE INSTALLED BY RED-SEAL TECHNICIANS

REGULARLY PERFORMING THESE WORKS

5.2.1.2. LINE ROUTING AS NOTED SHOULD BE THROUGH THE ACCESSIBLE CEILING SPACE, LINE SIZING TO SUIT MANUFACTURERS RECOMMENDATIONS.
5.2.1.3. INDOOR CEILING CASSETTES TO BE MOUNTED ABOVE T-BAR CEILING GRID.

COORDINATE MODIFICATIONS WITH GENERAL CONTRACTOR. PROVIDE

SUPPORT FOR UNIT FROM THE LOWER CHORD OF THE LUMBER ROOF

TRUSSES ABOVE, PROVIDE SUPPLEMENTAL STRUT CHANNEL SUPPORT MEMBERS AS REQUIRED.

2.1.4. REFRIGERANT LINES TO BE CONNECTED AND FULLY VACUUM PURGED A MINIMUM OF THREE (3) TIMES, WITHOUT LEAKS PRIOR TO CHARGING WITH

5.2.1.5. UNIT TO BE FULLY STARTED UP AND COMMISSIONED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

5.2.1.6. CONDENSATE SHOULD BE ROUTED THROUGH THE ACCESSIBLE CEILING

Elizabeth Elementary School

Mechanical Specifications

Description	Date	Date: 2025-05-22
Issued for Tender	2025-05-22	Drn By: MTJ E.I.T.
		Chk By: SWW P.Eng
		Project Number:
		251074
		Drawing Number:
-		M001
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Architecture + Engineering + Project Management

Suite 201, 85 Fitzroy Street Charlottetown, PEI, Canada, C1A 1R6 Phone (902) 368-2300 www.colesassociates.com D M 22/2025 Seart W. Wheeler No. 657 25/074 EDWARD Prince Edward Island Department of Transportation and Infrastructure PEIG DTI #470-25016

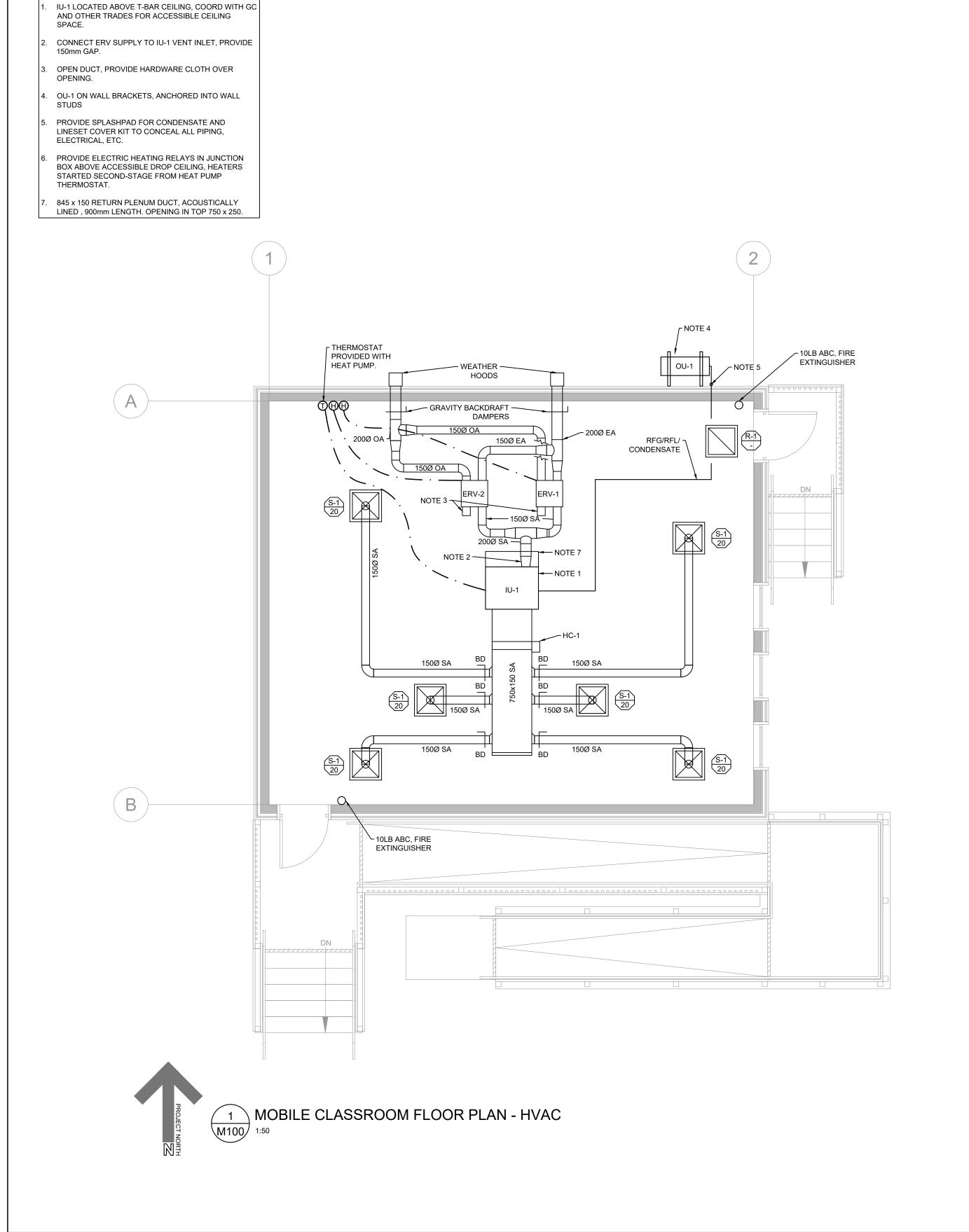
Queen Elizabeth Elementary School New Mobile Classroom

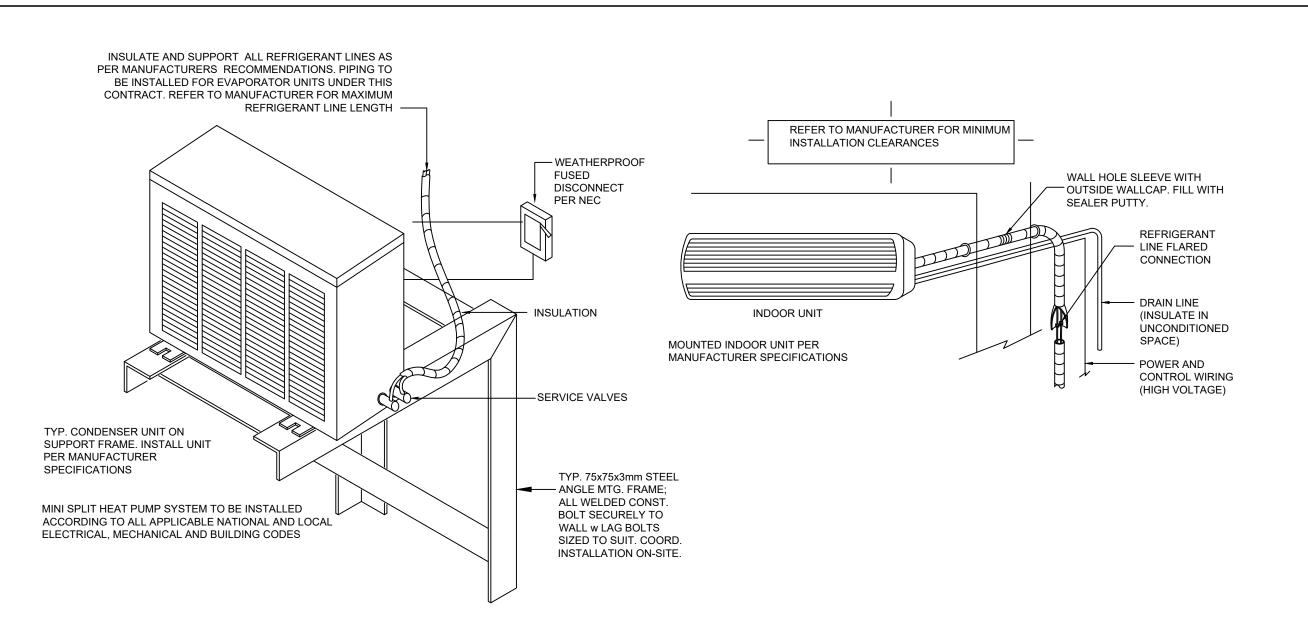
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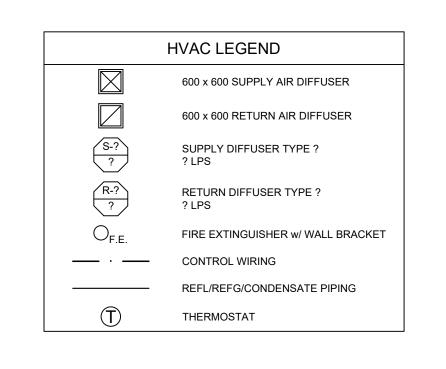
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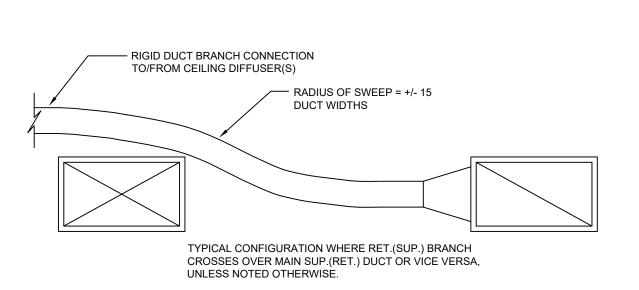
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TYPICAL HEAT PUMP CONNECTION DETAILS



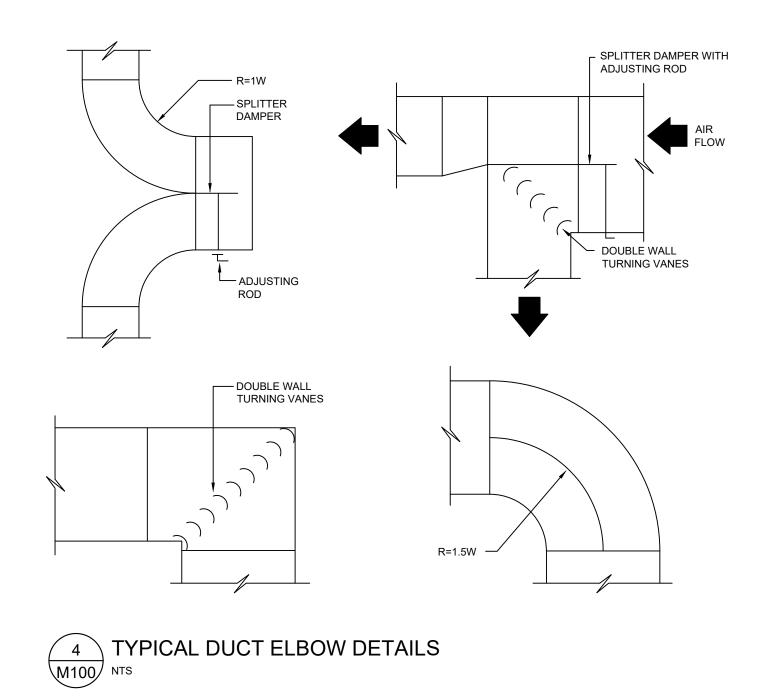
FLEXIBLE DUCT

RIGID DUCT COLLAR

SUPPLY DIFFUSER

THE T-BAR





		CPII		DIEELIS	SED SCI	JEDIJIE						
	GRILLE AND DIFFUSER SCHEDULE											
TAG	TYPE	MANUFACTURER	MODEL	SIZE (mm)	NECK SIZE (mm)	MATERIAL OF CONSTRUCTION	NOTES					
S-1	4-WAY CEILING DIFFUSER	AIRVECTOR	DF3	600 x 600	150	STEEL	ACOUSTIC CEILING TILE MOUNT, PROVIDE NECK MOUNTED BALANCE DAMPER					
R-1	EGGCRATE GRILLE	AIRVECTOR	ERT	600 x 600	N/A	ALUMINUM	T-BAR MOUNTING.					

				EN	IERGY	RECO	VERY '	VENTI	LATOR	SCHEDULE	Ξ
	AIRFLOW (LPS)	ESP (Pa)	UNIT FLA	POWER TYPE	% EFF. (TOTAL)	LENGTH (mm)	WIDTH (mm)	HEIGHT (mm)	WEIGHT (kg)	BASIS OF DESIGN	NOTES
ERV-1, ERV-2	60	100	1.4	120/1/60	55.0	550	550	250	15	FANTECH FIT 120E	STATIC PLATE ENERGY RECOVERY CORE, 900mm ELECTRICAL CORD CSA 5-15, MERV 13 FILTERS, ONBOARD DEFROST, ECOTOUCH CONTROLLER.

					ELEC	TRIC H	IEATING	COIL SC	CHEDUL	LE
TAG	LOCATION	MAKE / MODEL	HEATING CAPACITY (kW)	AIREL OW	AIRSIDE EAT (°C)	LAT (°C)	WIDTH	MENSIONS HEIGHT (mm)	POWER TYPE	NOTES
HC-1	IU-1 SUPPLY AIR DUCT	STELPRO SDHX	2	300	30	35	750	150	240/1/60	SCR DISCHARGE AIR TEMPERATURE CONTROLLER, INTEGRAL LIMIT THERMOSTAT OR AIR-PROOFING SWITCH. TO BE WIRIED TO SECOND STAGE

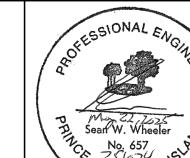
					SPLIT SY	STEM	HEAT P	UMP SCHEDU	LE
TAG	TYPE	REFRIG.	HEATING CAP. (MBH)	COOLING CAP. (MBH)	POWER TYPE	MCA	MOCP	BASIS OF DESIGN	NOTES
OU-1	HEAT PUMP CONDENSING UNIT	R410A	25.8	23	230/1/60	18.8	25	DAIKIN RXL24WMVJU9	C/W DRAIN PAN HEATER, FULL CAPACITY HEATING TO -25C, PROVIDE WALL BRACKET.
IU-1	DUCTED CONCEALED CASSETTE	R410A	25.8	23	POWERED	FROM OU	JTDOOR	DAIKIN FDMQ24WVJU9	C/W HARD-WIRED THERMOSTAT DAIKIN ONE OR EQUAL, COMPLETE WITH EXTERNAL HEAT ADAPTOR FOR DUCT HEATER, ERV DUCT CONNECTION, THERMOSTAT TO START ERV ON SCHEDULE, PROVIDE INTEGRAL CONDENSATE LIFT PUMP, PROVIDE MERV 13 FILTER FRAME

5 LAY-IN TYPE DIFFUSER DETAIL

DUCT HANGER AT THE ELBOW. ELBOW TO BE

RIGIDLY SUPPORTED TO PERMIT NO SWAY OR

MOVEMENT



Prince Edward Island Department of Transportation and Infrastructure PEIG DTI #470-25016

Queen Elizabeth Elementary School New Mobile Classroom

Mobile Classroom Floor Plan - HVAC & Schedules

	No.	Description	Date	Date: 2025-05-22	Revision
	0	Issued for Tender	2025-05-22	Drn By: MTJ E.I.T.	
				Chk By: SWW P.Eng	701
				Project Number:	
				251074	
-				Drawing Number:	
				M100	

Architecture + Engineering + Project Management

HEATING AND VENTILATION NOTES:

Suite 201, 85 Fitzroy Street Charlottetown, PEI, Canada, C1A 1R6 Phone (902) 368-2300



GENERAL CONDITIONS

- 1.1. TENDER REQUIREMENTS, THE PROJECT CONTRACT, RELATED DOCUMENTATION AND GENERAL REQUIREMENTS GOVERN THE WORK OF THIS CONTRACT/TRADE.
- 1.2. ALL ELECTRICAL WORK IS TO BE CARRIED OUT BY QUALIFIED, LICENSED ELECTRICIANS OR APPRENTICES FOR THE PROVINCE OF PRINCE EDWARD ISLAND AND THE FLECTRICAL CONTRACTOR MUST HAVE A VALID CONTRACTOR LICENSE ISSUED BY THE PROVINCE OF PRINCE EDWARD ISLAND.
- 1.3. ELECTRICAL CONTRACTOR TO FURNISH ALL LABOUR, MATERIALS, TOOLS AND EQUIPMENT REQUIRED TO COMPLETE ALL WORK SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED. THE WORK IS TO BE IN ACCORDANCE WITH RULES AND REGULATIONS OF ALL AUTHORITIES HAVING LEGAL JURISDICTION OVER THE WORK, PROVIDE ANY SMALL ITEMS OF WORK NOT SPECIFICALLY CALLED FOR BUT REQUIRED TO COMPLETE THE INTENDED INSTALLATION.
- 1.4. THE TERM "OWNER" TO HEREIN AFTER REFER TO THE DEPARTMENT OF TRANSPORTATION & INFRASTRUCTURE. THE TERM "ENGINEER" TO HEREIN AFTER REFER TO COLES ASSOCIATES LTD.
- 1.5. THE ENGINEER RESERVES THE RIGHT TO APPROVE THE QUALITY OF MATERIAL AND WORKMANSHIP, AND TO CALL FOR ANY TESTS WHICH THEY DEEM NECESSARY TO ESTABLISH THE INTEGRITY OF THE INSTALLATION DURING THE PROGRESS OF THE WORK AND A COMPLETE TEST OF EACH SYSTEM AT THE COMPLETION OF THE WORK. THE COST OF SUCH TESTS ARE NOT TO BE CONSIDERED AS

DESCRIPTION OF WORK

- 2.1. THE WORK IS TO CONSIST OF, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - 2.1.1. POWER DISTRIBUTION INCLUDING MODIFICATIONS TO EXISTING SYSTEM
- 2.1.2. WIRING DEVICES
- 2.1.3. LIGHTING
- 2.1.4. EXIT AND EMERGENCY LIGHTING
- 2.1.5. COMMUNICATIONS SYSTEMS, INCLUDING MODIFICATIONS TO EXISTING COMMUNICATIONS
- 2.1.6. FIRE ALARM, INCLUDING MODIFICATIONS TO EXISTING FIRE ALARM SYSTEM
- 2.1.7. PUBLIC ADDRESS SYSTEM, INCLUDING MODIFICATIONS TO EXISTING PUBLIC ADDRESS
- 2.1.8. SPEECH REINFORCEMENT SYSTEM
- 2.1.9. ALL CABLE AND CONDUIT INSTALLATION
- 2.1.10. ALL NECESSARY CONNECTIONS FOR A COMPLETE SYSTEM AS DESCRIBED
- CODES, PERMITS AND INSPECTION
- 3.1. ALL WORK IS TO BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE CANADIAN ELECTRICAL CODE (CSA 22.1-24), THE NATIONAL BUILDING CODE (NBCC 2020), AND THE NATIONAL
- 3.2. ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR AND IS TO OBTAIN ALL PERMITS, INSPECTIONS, ETC. AS REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK AND IS TO PAY FOR SAME. THESE COSTS ARE TO BE INCLUDED IN THE TENDER PRICES. ALL PERMITS ARE TO BE DELIVERED TO THE OWNER'S REPRESENTATIVE AS SOON AS THEY BECOME AVAILABLE.

EXAMINATION OF SITE AND DRAWINGS

EXAMINE ARCHITECTURAL AND ELECTRICAL DRAWINGS, VISIT THE SITE AND BECOME FAMILIAR WITH THE PROJECT. ANY DEVIATION AND/OR CONFLICTS ON THE PLANS OR SITE IS TO BE REPORTED TO THE ENGINEER PRIOR TO SUBMITTING TENDER, OTHERWISE IT WILL BE CONSIDERED THAT THEY HAVE BEEN ACCOUNTED FOR IN TOTAL TENDERED PRICE.

CLEANUP

- 5.1. REMOVE ALL WASTE PRODUCTS AND DEBRIS AND KEEP THE WORK AREA CLEAN AT ALL TIMES.
- 5.2. PRIOR TO FINAL REVIEW REMOVE SURPLUS PRODUCTS, TOOLS, AND CONSTRUCTION EQUIPMENT.
- 6. <u>CUTTING AND PATCHING</u>
- 6.1. BE RESPONSIBLE FOR ANY CUTTING, PATCHING AND OPENINGS NECESSARY FOR WORK. USE APPROPRIATE POWER DRIVEN TOOLS TO MAKE ANY OPENINGS. KEEP OPENINGS TO A MINIMUM, AND MAKE OPENINGS ONLY AS LARGE AS REQUIRED FOR ELECTRICAL SERVICES.
- 6.2. PATCH, CAULK, AND SEAL AROUND OPENINGS PLACED THROUGH FULL HEIGHT WALLS TO REDUCE

EXISTING STRUCTURES AND SERVICES

7.1. CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY CUTTING OR DISRUPTING EXISTING STRUCTURES OR SERVICES DESIGNATED TO REMAIN IN USE.

- 8.1. COORDINATE WORK OF THIS SECTION WITH OTHER TRADES.
- 8.2. ANY EXISTING CONDUIT, WIRING, BOXES OR EQUIPMENT THAT IS TO REMAIN IN SERVICE IS TO BE PROPERLY SUPPORTED AS REQUIRED BY THE CEC. ANY ADDITIONAL HANGERS. STRAPS OR FASTENERS THAT ARE REQUIRED ARE TO BE SUPPLIED AND INSTALLED UNDER THIS CONTRACT
- 8.3. MAKE ALTERATIONS TO EXISTING ELECTRICAL SERVICES AS REQUIRED AND MAKE GOOD ALL CIRCUITS AFFECTED BY THE RENOVATIONS.
- 8.4. ANY EXISTING ELECTRICAL CIRCUITS AND/OR EQUIPMENT THAT ARE INTERRUPTED DURING CONSTRUCTION TO ACCOMMODATE ALTERATIONS BUT ARE TO REMAIN IN SERVICE ARE TO BE RECONNECTED AND CIRCUITS MADE GOOD.
- 8.5. ANY RELOCATING OF EXISTING EQUIPMENT AND ANY REROUTING OF EXISTING WIRE AND CONDUIT TO COORDINATE WITH NEW WORK TO BE INCLUDED IN TOTAL TENDERED PRICE.

9.1. ALL EQUIPMENT AND MATERIAL, UNLESS SPECIFICALLY NOTED OTHERWISE, IS TO BE NEW AND WITHOUT BLEMISH OR DEFECT. ALL MATERIAL AND EQUIPMENT ARE TO BE CERTIFIED BY A CERTIFICATION AGENCY WHICH IS ACCREDITED BY THE CANADIAN STANDARDS COUNCIL OF CANADA IN ACCORDANCE WITH THE REQUIREMENTS OF CSA STANDARDS OR OTHER RECOGNIZED DOCUMENTS AND HAVE ALL REQUIRED LABELS PERMANENTLY AFFIXED AND VISIBLE WHEN INSTALLED.

10. <u>TESTING</u>

- 10.1. PERFORM TEST ON EACH SYSTEM TO THE SATISFACTION OF THE ENGINEER AND SUBMIT TEST RESULTS FOR APPROVAL PRIOR TO THE FINAL ACCEPTANCE OF THE WORK.
- 10.2. EXISTING PANELBOARD 'G' TO BE BALANCE WITHIN 5%. MEASURE PHASE CURRENT TO PANELS WITH NORMAL LOADS OPERATING AT TIME OF ACCEPTANCE. ADJUST BRANCH CIRCUIT CONNECTIONS AS REQUIRED TO OBTAIN BEST BALANCE OF CURRENT BETWEEN PHASES AND RECORD CHANGES. INCLUDE SIGNED AN DATED LOAD BALANCE SHEETS IN MAINTENANCE MANUALS.
- 10.3. TEST ALL SYSTEM GROUNDING CONDUCTORS FOR PHASE TO GROUND LOADS, AMMETER IS TO READ LESS THAN ONE AMPERE. INCLUDE SIGNED AND DATED TEST SHEETS IN MAINTENANCE MANUALS.
- 10.4. MEGGAR ALL CIRCUITS OF PANELBOARD 'G' PHASE-TO-PHASE-TO-GROUND. INCLUDE SIGNED AND DATED TEST SHEETS IN MAINTENANCE MANUALS.
- 10.5. ALL ELECTRICAL EQUIPMENT AND SYSTEMS TO BE COMMISSIONED BY ELECTRICAL CONTRACTOR, READY FOR USE BY OWNER.

11. <u>DEMONSTRATION OF THE SYSTEM</u>

CIRCUIT NUMBER IT IS CONNECTED TO.

- 11.1. DEMONSTRATE THE FUNCTION AND OPERATION OF EACH SYSTEM TO THE ENGINEER AND OWNER.
- 12.1. EACH WIRE TO HAVE SELF-LAMINATING OR HEAT SHRINK STYLE CABLE MARKER INDICATING THE
- 12.2. COLOUR CODE CONDUITS, BOXES AND METALLIC SHEATHED CABLES WITH PLASTIC TAPE OR PAINT. CONDUIT AND METALLIC SHEATHED CABLES ARE TO BE PAINTED OR TAPED ON BOTH SIDES OF WALL OR CEILING PENETRATIONS AND AT 15m INTERVALS, COLOUR CODING TO MATCH EXISTING.
- 12.3. ALL JUNCTION/PULL BOXES ARE TO BE MARKED WITH AN INDELIBLE INK MARKER TO IDENTIFY THE CIRCUIT NUMBER OF ENCLOSED WIRING AND THE PANEL NAME.

13. <u>COORDINATION</u>

13.1. BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF EQUIPMENT, CONDUIT AND CABLE WORK, LIGHTING FIXTURES, ETC. WITH OTHER TRADES PRIOR TO THE ACTUAL INSTALLATION.

ACCESSIBILITY

14.1. ALL WORK IS TO BE INSTALLED SO IT CAN BE READILY ACCESSIBLE FOR OPERATION, MAINTENANCE

RESPONSIBILITY

15.1. BE RESPONSIBLE FOR WORK UNTIL THE COMPLETION AND FINAL ACCEPTANCE, INCLUDING REPLACING ANY ITEM THAT MAY BE DEFECTIVE, DAMAGED, LOST OR STOLEN WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY TO THE COMPLETION OF THE PROJECT.

- WARRANT ALL WORK AND MATERIALS INSTALLED UNDER THIS CONTRACT, AGAINST ALL DEFECTS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE OF SAME BY OTHERS.
- FASTENINGS AND SUPPORTS 17.1. PROVIDE FASTENINGS AND SUPPORTS SPECIFICALLY DESIGNED TO SUPPORT THE LOAD FOR ALL
- 17.2. SPECIFIC PURPOSE HEAT TREATED, SPRING STEEL FASTENERS TO SUPPORT BOXES, CONDUIT AND CABLE FROM MAIN STRUCTURES, CHANNELS, WOODEN STUDS AND T-BAR CEILING. ACCEPTABLE MATERIAL: COOPER B-LINE: CADDY.
- 17.3. BOXES INSTALLED IN STUD WALLS ARE TO BE SUPPORTED BETWEEN STUDS USING SPECIFIC
- 17.4. PROVIDE METAL BRACKETS, FRAMES, HANGERS, CLAMPS AND RELATED TYPES OF SUPPORT AS REQUIRED TO SUPPORT CONDUIT AND CABLE. DO NOT USE TY-WRAPS OR ZIP TIES.

PURPOSE BOX SUPPORTS. ACCEPTABLE MATERIAL: COOPER B-LINE, CADDY

- 17.5. ENSURE ADEQUATE SUPPORT FOR RACEWAYS AND CABLES DROPPED VERTICALLY. PROVIDE
- 17.6. DO NOT USE SUPPORTS OR EQUIPMENT INSTALLED BY OTHER TRADES FOR CONDUIT OR CABLE SUPPORT UNLESS APPROVAL IS OBTAINED FROM THE ENGINEER.
- 17.7. USE COOPER B-LINE FLEX-RITE SERIES OR APPROVED EQUAL. FASTENERS TO SUPPORT CONDUIT AND CABLE FROM T-BAR HANGER WIRES.

CONDUIT AND FITTINGS

WHEN SHOWN, CONDUIT SIZES ARE TO BE AS INDICATED ON THE DRAWINGS AND ARE NOT TO BE REDUCED IN SIZE UNLESS APPROVAL IS OBTAINED FROM THE ENGINEER: OTHERWISE, SIZE CONDUIT TO CSA 22.1-24 REQUIREMENTS. CONDUIT INSTALLED IN FINISHED AREAS IS TO BE CONCEALED WHERE POSSIBLE. ALL CONDUIT IS TO BE INSTALLED PARALLEL OR PERPENDICULAR TO BUILDING LINES. CONDUIT IS TO BE INSTALLED TO CONSERVE HEADROOM IN SPACES THROUGH WHICH THEY

- 18.1.1. AC90 IS AN ACCEPTABLE ALTERNATE TO CONDUIT FOR INTERIOR BRANCH CIRCUITS CONCEALED IN STUD WALL CONSTRUCTION
- 18.2. EMT COMPLETE WITH STEEL SET SCREW COUPLINGS AND CONNECTORS TO BE USED FOR ALL BRANCH CIRCUIT WORK UNLESS OTHERWISE INDICATED. INSTALL A SEPARATE BOND WIRE SIZED IN ACCORDANCE WITH CEC REQUIREMENTS IN ALL CONDUITS, NMD90 IS AN ACCEPTABLE ALTERNATE
- 18.3. WHERE CONDUIT PENETRATES THROUGH FIRE RATED STRUCTURES, FIREPROOFING AND SMOKE SEALING IS TO BE PACKED AROUND CONDUIT TO MAINTAIN FIRE RATING OF STRUCTURE WHICH IT PASSES THROUGH, ACCEPTABLE MATERIAL: 3M BRAND FIRE BARRIER CAULK CP 25 OR 303 PUTTY COMPOUND OR APPROVED EQUAL. PROVIDE FIRE COLLARS IN ADDITION TO FIRE CAULKING WHERE

TO CONDUIT FOR BRANCH CIRCUITS CONCEALED IN WOODEN STUD WALL CONSTRUCTION.

18.4. MINIMUM CONDUIT SIZE IS TO BE 21mm UNLESS OTHERWISE INDICATED.

- 18.5. ARMOURED CABLE TO BE USED FOR DROPS TO LIGHT FIXTURES, MAXIMUM 5' LONG. INSTALL ANTI-SHORTS, STRAPS AND CONNECTORS AS REQUIRED.
- 18.6. FOR EXTERIOR AND WET LOCATIONS USE TECK CABLE WITH PROPER FITTINGS.
- 18.7. PROVIDE LOW VOC MASTIC COMPOUND WEATHERPROOF SEAL WHERE CONDUITS PASS THROUGH EXTERIOR WALLS OR STRUCTURES.
- OUTLET, PULL AND JUNCTION BOXES
- 19.1. BOXES TO BE CODE GAUGE STEEL, SIZED TO MEET CSA 22.1-24 REQUIREMENTS AND SUITABLE FOR FLUSH MOUNTING FOR THE TYPE OF CONSTRUCTION. USE CAST FS OR FD BOXES FOR SURFACE MOUNTED OUTLETS IN SERVICE ROOM.
- 19.2. PROVIDE PULL BOXES ON CONDUIT RUNS AT A MAXIMUM OF 100' INTERVALS.
- 19.3. BOXES TO BE SUPPORTED INDEPENDENT OF CONDUIT RUNS.
- 19.4. EXTERIOR BOXES TO BE WATERTIGHT.
- INSTALLATION OF ELECTRICAL
- 20.1. PLANS SHOW APPROXIMATE LOCATION OF ELECTRICAL WORK. EXACT LOCATION TO BE COORDINATED ON THE SITE WITH OTHER TRADES, ARCHITECTURAL PLANS, EQUIPMENT, ETC. LOCATIONS MAY VARY BY 10' WITHOUT CREDIT OR EXTRA. INACCURATELY LOCATED ELECTRICAL TO BE RE-ADJUSTED OR RELOCATED AT THE CONTRACTOR'S EXPENSE.
- 20.2. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, LOCATE ELECTRICAL EQUIPMENT AT THE FOLLOWING MOUNTING HEIGHTS TAKEN FROM EQUIPMENT CENTERLINE TO FINISHED FLOOR.
- 20.2.1. RECEPTACLES, TELEPHONE AND DATA OUTLETS: 450mm IN GENERAL OR 813mm AFF AT
- 20.2.2. LIGHT SWITCHES: 1219mm

TEACHER'S STATION.

- 20.2.3. FIRE ALARM PULL STATIONS: 1150mm
- 20.2.4. FIRE ALARM VISUAL AND/OR AUDIBLE SIGNAL DEVICES: 2286mm
- 20.2.5. WALL MOUNTED EXIT OR EMERGENCY LIGHTS: 2286mm

WIRE AND CABLE

- 21.1. ALL WIRES TO BE COPPER RW90, RATED 600V, INSTALLED IN CONDUIT UNLESS OTHERWISE INDICATED. NMD90 IS AN ACCEPTABLE ALTERNATE TO CONDUIT FOR INTERIOR BRANCH CIRCUITS CONCEALED IN WOODEN STUD WALL CONSTRUCTION. ALUMINUM COMPOSITE MAY BE USED WHERE APPROVED BY THE ENGINEER FOR FEEDERS EQUAL TO OR GREATER THAN 60A, ACM COMPOUND TO BE APPLIED PRIOR TO TERMINATION
- 21.2. ALL WIRING TO BE SIZED TO MEET ALL REQUIREMENTS OF THE CSA 22.1-24. MINIMUM SIZE FOR BRANCH CIRCUIT WIRING TO BE #12 AND #14 FOR CONTROL WIRING UNLESS INDICATED OTHERWISE.
- 21.3. ALL WIRES TO BE NEW AND DELIVERED TO THE SITE OF THE PROJECT IN THEIR ORIGINAL PACKING. WIRES #8 AND LARGER TO BE STRANDED, #10 AND SMALLER TO BE SOLID. WIRES TO BE FACTORY IDENTIFIED SHOWING SIZE, VOLTAGE RATING AND INSULATION TYPE.
- 21.4. NEUTRAL CONDUCTOR TO BE WHITE THROUGHOUT, THREE PHASE WIRES TO BE: ONE RED, ONE BLACK AND ONE BLUE.
- 21.5. WHERE COMMON NEUTRALS ARE USED ENSURE THAT CIRCUITS ARE FROM DIFFERENT PHASES.
- 21.6. CABLES ARE TO BE INSTALLED WITHOUT SPLICES AND BE RUN CONTINUOUS FROM SOURCE TO LOAD.
- 21.7. USE GEL FILLED TWIST-ON CONNECTORS IN DAMP OR WET LOCATIONS. ACCEPTABLE MATERIAL: KING INNOVATION DRY CONN.
- CONNECTORS FOR WIRES
- 22.1. USE TWIST-ON PRESSURE TYPE WIRE CONNECTORS FOR #8 TO #14 SIZED WIRE CONNECTIONS. ACCEPTABLE MATERIAL: MARETTE
- 22.2. USE CRIMP STYLE ALLOY WIRE CONNECTORS, NYLON INSULATED FOR #16 AND SMALLER WIRES AND FOR CONNECTING SOLID TO STRANDED CONDUCTORS.

22.3. COMPRESSION TYPE CONNECTORS TO BE USED FOR CONNECTING #6 CONDUCTORS AND LARGER.

23. GROUNDING AND BONDING

- 23.1. ENTIRE MODIFIED ELECTRICAL SYSTEM TO BE GROUNDED AND BONDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CEC AND LOCAL AUTHORITIES.
- 23.2. ALL CONDUITS TO HAVE SEPARATE INSULATED BONDING CONDUCTOR.
- 23.3. ALL INSULATED GROUNDING AND BONDING WIRES TO HAVE GREEN JACKET.
- POWER DISTRIBUTION SYSTEM
- 24.1. PANELBOARDS
 - 24.1.1. PANELBOARDS TO BE OF THE AMPERAGE, VOLTAGE AND PHASING INDICATED ON THE DRAWINGS, COMPLETE WITH CIRCUIT BREAKERS AS INDICATED
 - PANELBOARDS TO BE FLUSH AS INDICATED COMPLETE WITH HINGED DOOR, LATCH, LOCK AND DIRECTORY, BAKED GREY ENAMEL FINISH.
 - 24.1.3. ALL PANELBOARDS TO BE OF THE SAME MANUFACTURER.
 - RUN 2 27mm SPARE CONDUITS UP TO CEILING SPACE FROM EACH FLUSH MOUNTED PANELBOARD. TERMINATE EACH OF THESE CONDUITS IN 150mm x 150mm x 100mm JUNCTION BOXES IN THE ACCESSIBLE CEILING SPACE.
 - 24.1.5. ACCEPTABLE MATERIAL: SQUARE D, SIEMENS, EATON.
 - 24.1.6. CIRCUIT BREAKERS TO HAVE THERMAL MAGNETIC TRIP PROTECTION WITH BIMETALLIC ELEMENTS FOR DELAY OVERLOAD PROTECTION. TWO AND THREE POLE BREAKERS TO HAVE INTERNAL COMMON TRIP. BREAKERS ARE TO BE BOLT-IN FIELD INTERCHANGEABLE 10 KAIC AT 208V. PROVIDE ALL MOUNTING HARDWARE AS REQUIRED FOR INSTALLING NEW BREAKERS IN NEW PANELS.

- 25.1. DUPLEX RECEPTACLES TO BE WHITE, STANDARD, COMMERCIAL SPECIFICATION GRADE, TAMPER RESISTANT 120V, 15A CSA 5-15R AS INDICATED ON THE DRAWINGS WITH STAINLESS STEEL FACEPLATE, ACCEPTABLE MATERIAL: (CSA 5-15R) HUBELL #HBL5262WTR, COOPER, LEVITON, PASS & SEYMOUR, (CSA 5-20R) HUBBELL #HBL5362WTR, COOPER, LEVITON, PASS & SEYMOUR.
- 25.2. SWITCHES, SINGLE POLE OR 3-WAY AS INDICATED TO BE WHITE, TOGGLE, COMMERCIAL SPECIFICATION GRADE RATED 15A, 120V, C/W STAINLESS STEEL FACEPLATE. ACCEPTABLE MATERIAL:
- COOPER; HUBBELL; LEVITON, PASS AND SEYMOUR. 25.3 DIMMING SWITCHES TO BE CAPABLE OF DIMMING LINE VOLTAGE CONTROL DIMMERS TO BE C/W 0-10. VDC CONTROL, 120V, 8A LINE VOLTAGE RATING ON/OFF AND ROCKER STYLE OR PUSH BUTTON SWITCH. MANUAL RE-SET SLIDE CONTROL FOR ADJUSTMENT FOR MAXIMUM INTENSITY TO OFF AND

MINIMUM, THRESHOLD ADJUSTMENT TO ELIMINATE LAMP FLICKER. FINISH TO BE WHITE GLOSS;

ACCEPTABLE MATERIAL: LUTRON, COOPER, LEVITON, SENSOR SWITCH. 25.4. COVERPLATES IN FINISHED AREAS TO BE STAINLESS STEEL, NUMBER OF GANG AS REQUIRED.

SURFACE OUTLETS TO BE STAINLESS STEEL SUITABLE FOR CAST BOX MOUNTING.

- 25.5. PROVIDE CIRCUIT IDENTIFICATION AT ALL WIRING DEVICES USING PRE-PRINTED THERMAL NON-SMEAR LABELS, CLEAR VINYL WITH BLOCK LETTERING, ATTACHED TO COVERPLATE. WHITE VINYL LABELS WILL NOT BE ACCEPTED.
- <u>LUMINAIRES</u>
- 26.1. PROVIDE LUMINAIRES C/W DRIVERS AND LAMPS AS INDICATED IN THE LUMINAIRE SCHEDULE,
- 26.2. CO-ORDINATE THE MOUNTING AND LOCATION OF LUMINAIRES WITH OTHER TRADES TO AVOID
- 26.3. JUNCTION BOXES IN SUSPENDED CEILING SPACE ARE TO BE ACCESSIBLE THROUGH THE FIXTURES OR BY REMOVABLE PANELS.

LUMINAIRES TO BE C/W ALL NECESSARY HANGERS, LOUVERS, DIFFUSERS, SUPPORTS, ETC.

- 26.4. ALIGN LUMINAIRES IN CONTINUOUS ROWS TO FORM STRAIGHT UNINTERRUPTED LINE. ALIGN LUMINAIRES MOUNTED INDIVIDUALLY PARALLEL OR PERPENDICULAR TO BUILDING LINES.
- 27. <u>EXIT SIGNS AND EMERGENCY LIGHTS</u>
- 27.1. EXIT LIGHTS TO BE LED, 120V, PICTORIAL, GREEN RUNNING MAN ON WHITE FACE, C22.2 #141-10.C860 COMPLIANT. ACCEPTABLE MANUFACTURER OR APPROVED EQUAL: AIMLITE #RPMP-WHT; READY-LITE #RP-3-W-SP; LUMACELL #LP-3-W-S; STANPRO # RMPN0WH-UDC-S. EXIT LIGHTS TO HAVE A TEN YEAR UNCONDITIONAL PARTS AND LABOUR GUARANTEE.
- 27.2. EMERGENCY LIGHTS TO BE 4W. 12V. MR16 LED LAMP REMOTE HEAD(S), WHITE COLOR, SINGLE OR DOUBLE AS INDICATED. ACCEPTABLE MANUFACTURER OR APPROVED EQUAL: AIMLITE #RMMD-1 #S1[2]-12-24-4WLA-WHT
- 27.3. EMERGENCY BATTERY TO BE RATED 36W FOR 30 MIN., 120V INPUT, 12V DC OUTPUT, WITH TWO 4W MR16 LED LAMPS, AUTO-TEST, WHITE HOUSING, ACCEPTABLE MANUFACTURER OR APPROVED FOUAL AIMLITE #EBST12036-2MD-4WLAWHT/ATD, READY-LITE #LDX12-36AD2-LD07, LUMACELL #RG125-36-2-LD07-AT, STANPRO #SLA12036-25-4WLAWH/AT. BATTERY TO HAVE A TEN YEAR UNCONDITIONAL PARTS AND LABOUR GUARANTEE.
- 27.4. COMBINATION EMERGENCY BATTERY UNIT AND EXIT SIGN MAY BE USED WITH PRIOR APPROVAL FROM ENGINEER.
- 27.5. INSTALL EXIT AND EMERGENCY LIGHTING AS INDICATED AND MAKE NORMAL AND EMERGENCY

POWER CONNECTIONS. TEST EMERGENCY POWER FOR 30 MINUTES.

- COMMUNICATIONS SYSTEM
- 28.1. ALL NEW WORK AND MODIFICATIONS TO THE TELEPHONE AND DATA NETWORK TO BE COMPLETED IN
- 28.2. NEW DATA OUTLETS TO BE FED FROM SPARE DATA PORTS IN EXISTING PATCH PANELS IN EXISTING DATA RACK IN EXISTING LAN ROOM.

ACCORDANCE WITH THE MOST RECENT ITSS STANDARDS FOR THE PROVINCE OF PEI.

28.3. DATA CABLES TO BE CAT.6 FT6, GREEN COLOUR. ACCEPTABLE MATERIAL: 10GXW TO ITSS 28.4. DATA OUTLETS TO BE CAT.6, MODULAR GREEN COLOUR, ACCEPTABLE MATERIAL: TO ITSS

REQUIREMENTS TELEPHONE AND DATA MODULES TO BE MOUNTED IN A COMMON 4"X4" OUTLET BOX

- WITH PLASTER RING AND FLUSH SINGLE GANG WHITE NYLON FACEPLATE WITH A 21mm EMT CONDUIT UP TO ACCESSIBLE CEILING SPACE.
- 28.5. TERMINATE CABLES AT PATCH PANELS AND OUTLETS USING TS68a (IBDN) PIN ASSIGNMENT. 28.6. SUPPORT CABLES ABOVE SUSPENDED CEILINGS USING J-HOOKS ATTACHED TO BUILDING STRUCTURE AT 4' C/C SPACING. DO NOT USE TY-WRAPS TO SUPPORT CABLES. ACCEPTABLE
- 28.7. DRESS CABLES WITH VELCRO CABLE TIES. DO NOT USE TY-WRAPS OR ZIP-TIES TO SUPPORT CABLES. ACCEPTABLE MATERIAL: PANDUIT
- 28.8. PROVIDE EMT CONDUIT SLEEVES ABOVE INACCESSIBLE CEILINGS, SIZED TO SUIT AT 40% FILL PLUS
- 28.9. DATA PATCH CORDS TO BE CAT.6 WITH RJ-45 PLUGS ON BOTH ENDS, GREEN COLOUR, 4' LONG. ACCEPTABLE MATERIAL: BELDEN TO ITSS REQUIREMENTS.
- 28.10. CONTRACTOR TO SUPPLY PATCH CORDS AT BOTH THE MAIN DATA RACK AND IN THE INDIVIDUAL ROOMS. NUMBER OF PATCH CORDS REQUIRED SHALL BE DETERMINED BY THE NUMBER OF DATA
 - OUTLETS SHOWN ON THE DRAWINGS. PATCH CORD LENGTH REQUIRED IN THESE AMOUNTS: 28.10.1. 4 FEET, 70% OF TOTAL COUNT
- 28.10.2. 7 FEET, 20% OF TOTAL COUNT
- 28.10.3. 10 FEET, 10% OF TOTAL COUNT

MATERIAL: CADDY CABLE CAT CLIP

28.11. INSTALLATION TO CONFORM TO CAN/CSA-T568 AND BE FULLY CERTIFIED FOR CAT.6A (TELEPHONE) AND CAT.6A (DATA). ALL MATERIAL TO BE SOURCED FROM A CERTIFIED MANUFACTURER TO ASSURE QUALITY CONTROL. THE SYSTEM IS TO HAVE AN "END-TO-END 20-YEAR" WARRANTY AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP. THE CERTIFIED SYSTEM VENDOR WILL REPAIR OR

REPLACE ANY FAILED COMPONENT, INCLUDING LABOUR, AT NO COST TO THE OWNER. PROVIDE SYSTEM TEST RESULTS, CERTIFICATES AND WARRANTY IN MAINTENANCE MANUALS.

29. FIRE ALARM SYSTEM

- THE FIRE ALARM EQUIPMENT AND DEVICES TO BE INTELLIGENT AND ADDRESSABLE, CSA APPROVED CONFORM TO CAN/ULC STANDARDS. BE SUPPLIED BY A SINGLE MANUFACTURER. AND WIRED TO EXISTING INITIATION AND NOTIFICATION LOOPS OF EXISTING NOTIFIER #SPF-10UD CONVENTIONAL FIRE ALARM SYSTEM LOCATED IN MACHINE ROOM 401.
- 29.2. MANUAL ALARM STATIONS: PULL LEVER, SINGLE POLE, SINGLE ACTION, WALL MOUNTED TYPE OVER
- 29.3. SPOT TYPE FIRE DETECTORS: MULTIDETECTOR TYPE C/W PHOTO ELECTRIC AND FIXED TYPE HEAT
- 29.4. SIGNALING APPLIANCES TO BE COMPLETE WITH BACK BOX FOR FLUSH MOUNTING. HORN/STROBE
- 29.5. REMOTE RELAYS TO INTERFACE WITH ACCESS CONTROL, SYSTEM PANELS FOR AUTOMATIC DOOR
- 29.6. INSTALL FIRE ALARM SYSTEM AS INDICATED AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. INSTALL WIRING AS PER MANUFACTURER'S RECOMMENDATIONS. ALL WIRING TO BE IN EMT CONDUIT. ADDRESSABLE LOOPS AND NOTIFICATION CIRCUITS TO BE INSTALLED IN SEPARATE
- 29.7. FIRE ALARM SYSTEM TO BE INSTALLED IN ACCORDANCE WITH CAN/ULC-S524, INSPECTED, TESTED AND VERIFIED IN ACCORDANCE WITH CAN/ULC-S536 AND S537.
- 29.8. PROVIDE ONE (1) INSPECTION BY THE MANUFACTURER'S CERTIFIED TECHNICIAN AT YEAR END.
- 29.9. PROVIDE MANUFACTURER'S VERIFICATION REPORT OF THE MODIFIED FIRE ALARM SYSTEM TO

CONDUITS. COORDINATE WITH OWNER FOR DEVICE LOCATION DESCRIPTION.

30. SPEECH REINFORCING SYSTEM - CLASSROOM

RELEASE UPON FIRE ALARM.

COMBINATION TO HAVE 91dB AND 15CD OUTPUT MINIMUM.

- 30.1. PROVIDE ALL MATERIAL AND LABOR REQUIRED TO PROVIDE A COMPLETE AND FULLY OPERATIONAL CLASSROOM SOUND SYSTEM IN CLASSROOMS AS INDICATED ON THE DRAWINGS. THIS WORK IS TO INCLUDE, BUT IS NOT LIMITED TO, THE FURNISHING, INSTALLATION, ASSEMBLY, SETUP AND TESTING OF THE SPEECH REINFORCEMENT SYSTEM INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN FOR A FULLY OPERATIONAL SYSTEM.
- 30.2. ALL MATERIALS SPECIFIED HEREIN TO BE NEW AND BE THE MANUFACTURER'S LATEST DESIGN, PERMANENTLY LABELED WITH THE MANUFACTURER'S NAME, MODEL NUMBER AND SERIAL NUMBER. ALL ACTIVE CIRCUITRY TO BE SOLID STATE AND BE RATED FOR CONTINUOUS USE.
- 30.3. ALL AUXILIARY AND INCIDENTAL EQUIPMENT NECESSARY FOR THE OPERATION AND PROTECTION OF THE SYSTEMS SPECIFIED IN THIS SECTION IS TO BE FURNISHED AND INSTALLED AS IF SPECIFIED IN

30.4. CLASSROOM SOUND SYSTEM:

- PROVIDE AND INSTALL A SPEECH REINFORCING SYSTEM TO SERVE EACH CLASSROOM AS INDICATED ON THE DRAWINGS. A WIRELESS TEACHER MICROPHONE IS TO PROVIDE AMPLIFICATION OF THE TEACHER'S VOICE. A WIRELESS HAND-HELD. STUDENT PASS-AROUND MICROPHONE IS TO PROVIDE AMPLIFICATION OF THE STUDENT'S VOICES.
- PROVIDE AMPLIFICATION OF THE TEACHER'S VOICE IN ALL CLASSROOMS. 30.4.3. TYPICAL CLASSROOM IS TO CONTAIN TWO (2) WALL MOUNTED SPEAKERS. SPEAKER QUANTITIES TO BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED SPEAKER QUANTITY FOR CLASSROOM SHAPE AND SIZE AND SPEAKER LOCATIONS SHALL PROVIDE

SOUND FIELD SYSTEM IS TO INCLUDE ALL COMPONENTS AND ACCESSORIES NEEDED TO

UNIFORM SOUND DISTRIBUTION REGARDLESS OF ARRANGEMENT OF TEACHER AND

30.4.4. LOCATE THE SYSTEM RECEIVER AS INDICATED ON THE DRAWINGS.

- 30.4.4.1. DESCRIPTION: 30.4.4.1.1. FOR EACH LOCATION INDICATED, THE CONTRACTOR IS TO PROVIDE AND INSTALL A COMPLETE WIRELESS SPEECH REINFORCEMENT SYSTEM. THE SYSTEM IS TO INCLUDE, BUT NOT BE LIMITED TO (PER
 - 30.4.4.1.2. ONE PENDANT MOUNT TEACHER TRANSMITTER/MICROPHONE.

30.4.4.1.3. ONE, 2-CHANNEL INFRA RED RECEIVER/AMPLIFIER

- 30.4.4.1.4. ONE, 2-CHANNEL HANDHELD INFRA RED TRANSMITTER/MICROPHONE
- 30.4.4.1.5. TWO (2) WALL-MOUNTED SPEAKERS OR MORE AS INDICATED ON
- 30.4.4.1.6. AUXILIARY INPUT BOX WITH FOUR INPUTS FOR INTERFACE WITH TV OR PROJECTOR.
- 30.4.4.1.7. ONE (1) PENDANT AND PASS-AROUND MICROPHONE CHARGER. 30.4.4.2. DEVIATIONS FROM THE DRAWINGS, WITH THE EXCEPTION OF MINOR CHANGES IN ROUTING AND OTHER SUCH INCIDENTAL CHANGES THAT DO NOT AFFECT THE FUNCTIONING OR SERVICEABILITY OF THE SYSTEMS, SHALL NOT BE MADE

WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANT.

30.4.4.3. MANUFACTURERS:

30.4.4.3.1. ACCEPTABLE MANUFACTURER: 30.4.4.3.1.1. FRONT ROW SYSTEM

30.4.4.3.1.1.1. IR SPEAKER

30.4.4.3.0.1.2. WIRELESS MICROPHONE C/W BATTERY AND CHARGER

30.4.4.3.0.1.3. WIRELESS MICROPHONE (STUDENT) C/W BATTERY AND CHARGER

30 4 4 3 0 1 4 RECEIVER

INSTALLATION OF ALL EQUIPMENT SPECIFIED HEREIN FOR A FULLY FUNCTIONAL

COMMISSION AND VERIFY THAT THE SOUND REINFORCING SYSTEM IS INSTALLED

- 30.4.4.4. INSTALL ALL CONDUIT, WIRING, ETC. IN ACCORDANCE WITH MANUFACTURER'S 30.4.4.5. INSTALLATION INSTRUCTIONS FOR A COMPLETE FUNCTIONAL SYSTEM. 30.4.4.6. THE MANUFACTURER'S REPRESENTATIVE IS RESPONSIBLE FOR THE
- SYSTEM. MANUFACTURER TO REVIEW WORK INVOLVED IN THE HANDLING, INSTALLATION, PROTECTION AND CLEANING OF ITS PRODUCTS, AND SUBMIT WRITTEN REPORTS, IN ACCEPTABLE FORMAT, TO VERIFY COMPLIANCE OF WORK 30.4.4.7. PROVIDE FOR MANUFACTURER'S CERTIFIED TECHNICIAN TO VISIT, PROGRAM,

AS INDICATED AND OPERATES AS INTENDED AND THAT THERE ARE NO

BE ALLOWED.

THE PLANS FOR THE WORK ACCOMPANYING THESE SPECIFICATIONS ARE MADE AS ACCURATELY AS POSSIBLE, BUT ABSOLUTE ACCURACY OF DIMENSIONS CANNOT BE GUARANTEED. THEY ARE INTENDED TO SUPPLEMENT AND SIMPLIFY THE GENERAL CONTRACT DRAWINGS. NO CLAIMS FOR EXTRA PAYMENT ON ACCOUNT OF THE DIFFERENCE OF ACTUAL AND ESTIMATED DIMENSIONS WILL

THE PLANS LISTED BELOW FORM AN INTEGRAL PART OF THIS SPECIFICATION: E001 ELECTRICAL SPECIFICATIONS & LEGEND E100 PARTIAL ELECTRICAL SITE PLAN, PARTIAL FLOOR PLANS & TRENCH DETAIL E101 MOBILE CLASSROOM FLOOR PLAN - POWER, COMMUNICATIONS, SYSTEMS, LIGHTING &

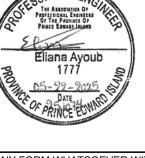
SCHEDULES

LEGEND LIGHT LINEWEIGHT INDICATES EXISTING TO REMAIN HEAVY LINEWEIGHT INDICATES NEW WORK SURFACE MOUNTED WIRING — - UNDERGROUND WIRING WIRING DOWN ELECTRICAL PANEL. RECESSED MOUNTED 'Q' - INDICATES PANEL DESIGNATION EXISTING ELECTRICAL PANEL, SURFACE MOUNTED 'G' - INDICATES PANEL DESIGNATION DUPLEX RECEPTACLE INDICATES CIRCUIT #10 IN PANEL 'A' A-10a a- INDICATES LUMINAIRE SWITCHING FOR LIGHTING CIRCUITS DEVICE MOUNTED 4' AFF OR 6" ABOVE COUNTER OR 9" ABOVE COUNTER WITH BACKSPLASH MOUNTED IN CEILING SPACE DATA AND TELEPHONE OUTLET 1.1- FIRST NUMBER INDICATES QUANTITY OF RJ45 MODULE FOR TELEPHONE, SECOND NUMBER INDICATES QUANTITY OF RJ45 MODULES TELEPHONE AND DATA TO SHARE COMMON FACEPLATE. DATA OUTLET-MOUNTED IN ACCESSIBLE CEILING SPACE ADJACENT TO WIRELESS ROUTER. WIRELESS ROUTER SUPPLIED AND INSTALLED BY ITSS. DR EXISTING DATA RACK VIDEO DISPLAY LUMINAIRE, CEILING MOUNTED # - INDICATES TYPE IN LUMINAIRE SCHEDULE LUMINAIRE. WALL MOUNTED # - INDICATES TYPE IN LUMINAIRE SCHEDULE SINGLE POLE SWITCH # - INDICATES SUBSCRIPT SWITCH SUB SCRIPTS 3 - THREE-WAY SWITCH L - 0-10VDC LOW VOLTAGE DIMMER SWITCH LUMINAIRE SWITCHING EXIT SIGN; WALL MOUNTED SHADING - INDICATES NUMBER AND LOCATION OF FACES DUAL HEAD EMERGENCY LIGHTING UNIT POWER ASSISTED DOOR PUSH BUTTON, SUPPLIED AND INSTALLED BY OTHERS, WIRED BY ELECTRICIAN. POWER ASSISTED DOOR OPENER, SUPPLIED AND INSTALLED BY OTHERS, WIRED BY ELECTRICIAN. FIRE ALARM MANUAL PULL STATION FIRE ALARM DETECTOR # - INDICATES SUBSCRIPT DETECTOR SUB SCRIPTS M - MULTISENSOR SMOKE DETECTOR FIRE ALARM COMBINATION HORN STROBE PUBLIC ADDRESS SYSTEM

COMBINATION CALL-IN SWITCH & SPEAKER R SPEECH REINFORCEMENT SYSTEM RECEIVER RECESS MOUNTED CEILING SPEAKER SPEECH REINFORCEMENT SYSTEM SURFACE MOUNTED WALL SPEAKER

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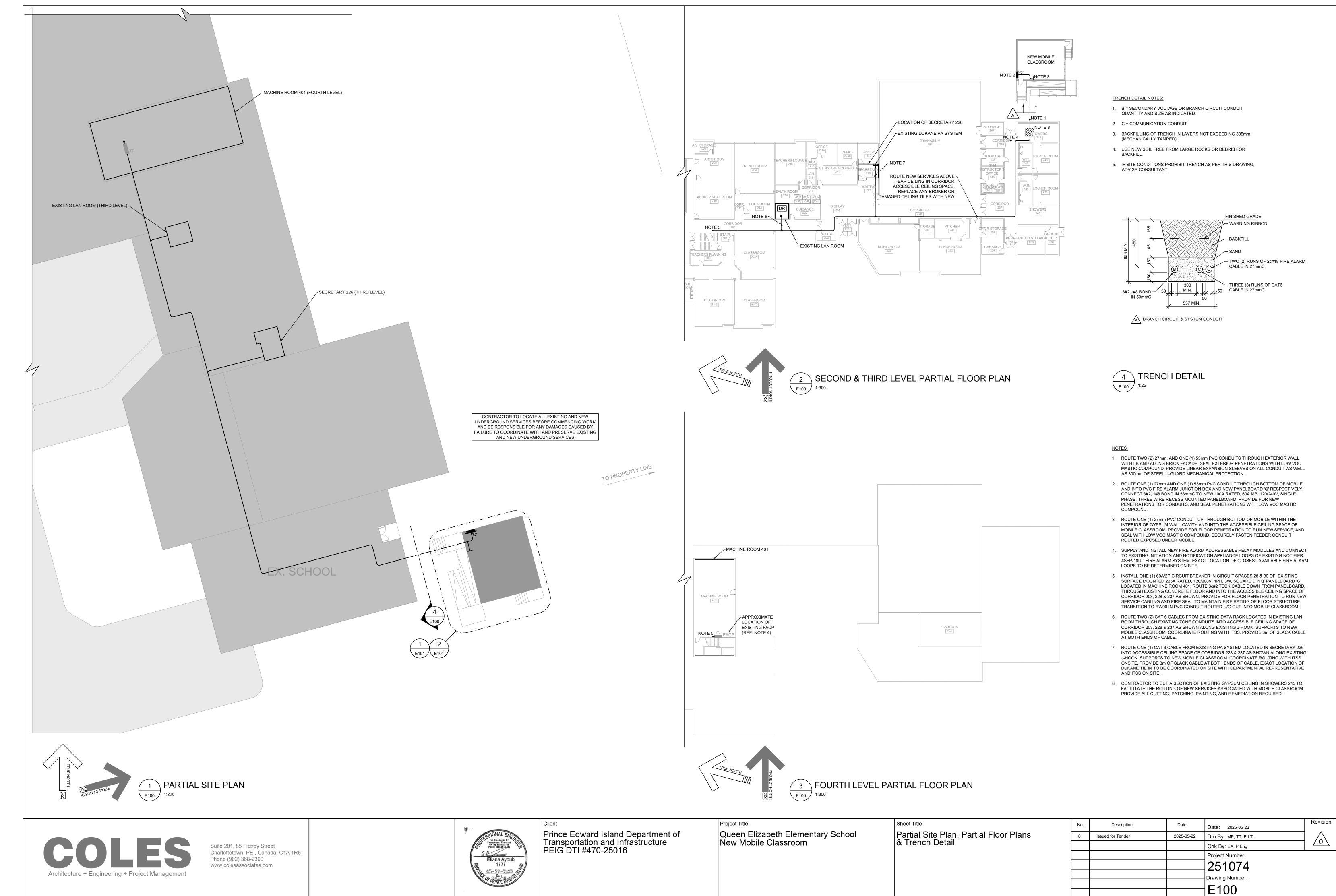
Prince Edward Island Department of Transportation and Infrastructure PEIG DTI #470-25016

Queen Elizabeth Elementary School New Mobile Classroom

Electrical Specifications & Legend

Issued for Tender 2025-05-22 Drn By: MP, TT, E.I.T. Chk By: EA, P.Eng Project Number Drawing Numbe

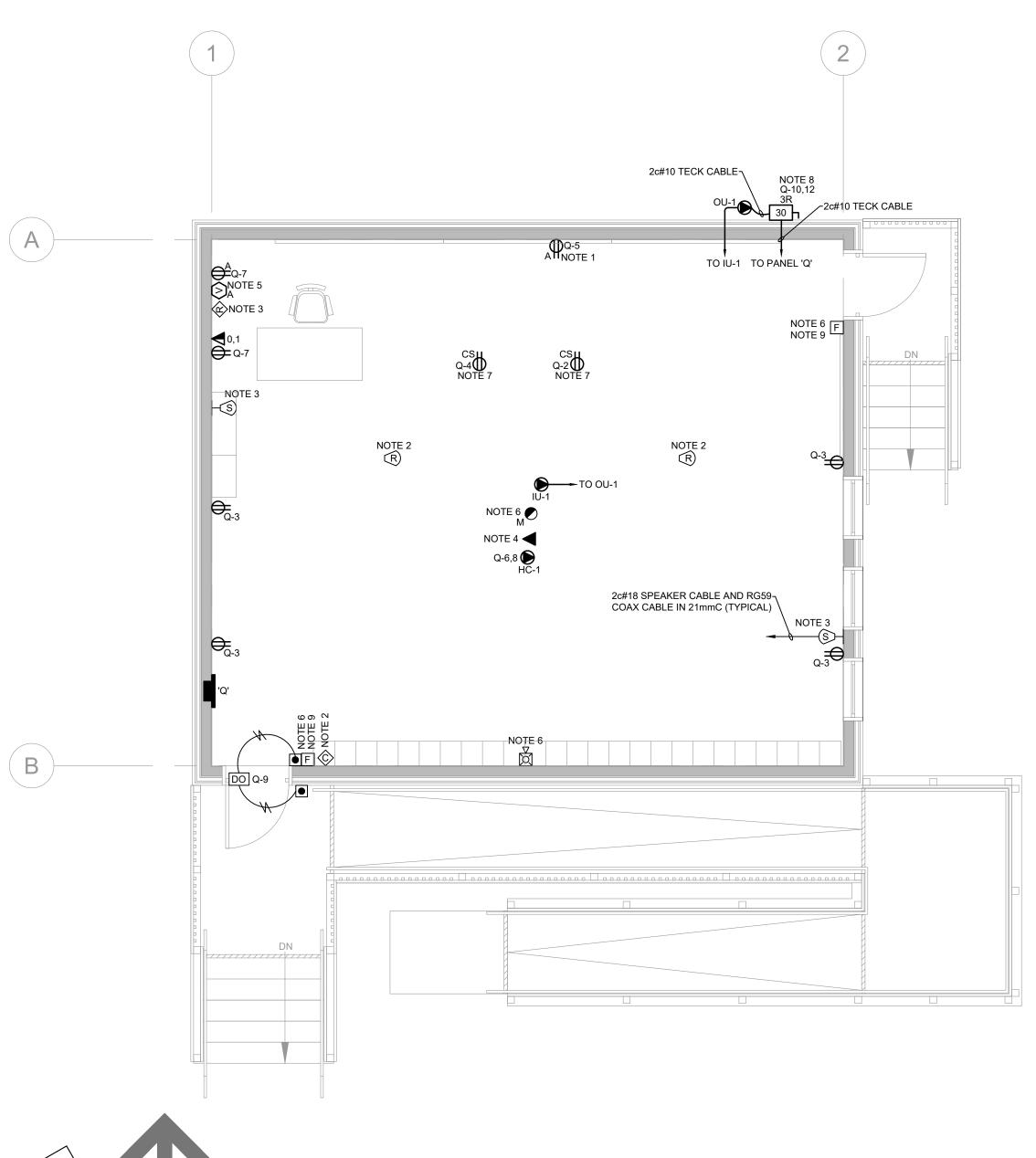
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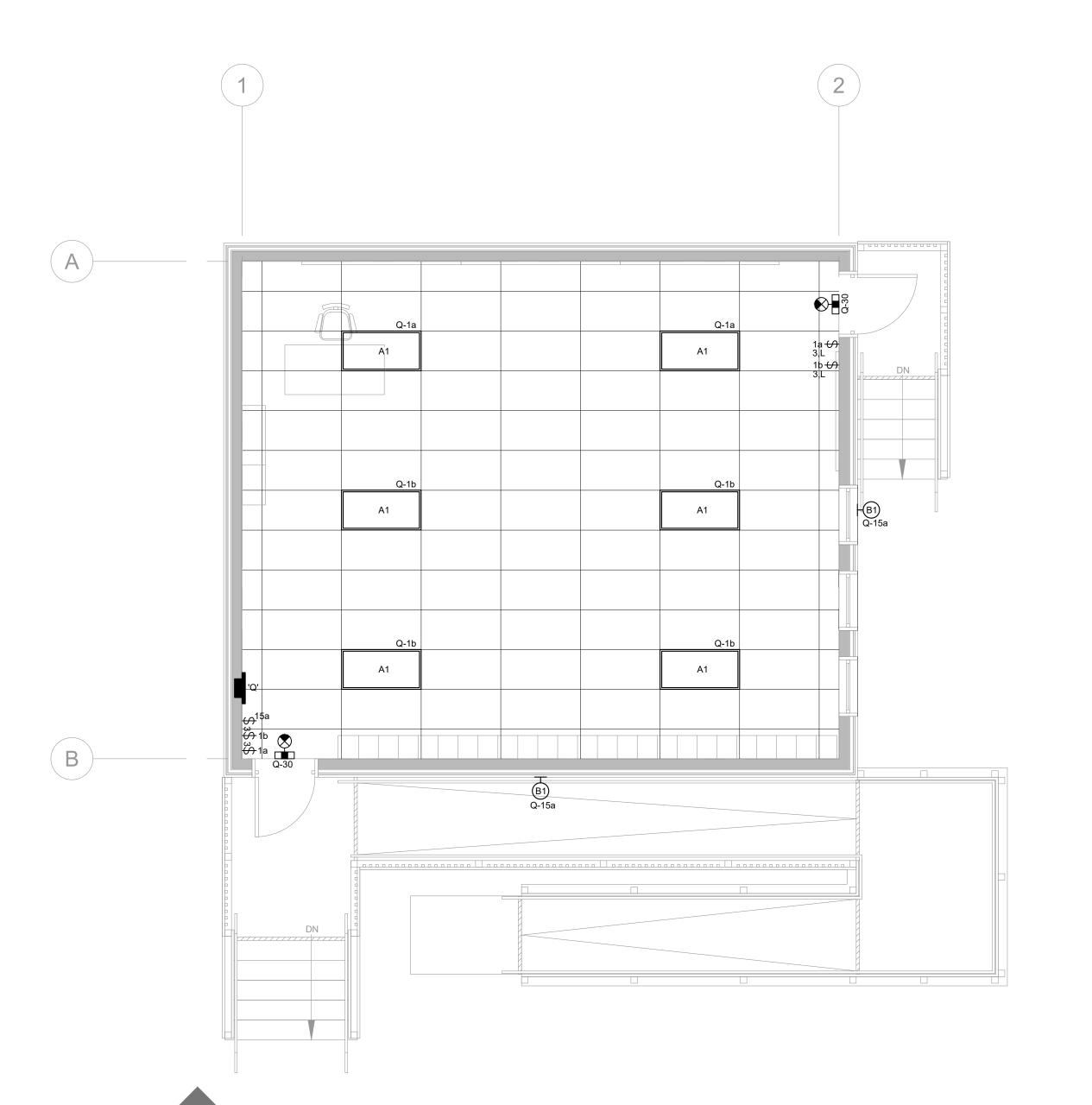


					P	ANEL 'C)'						
	LO	AD)AD			
DESIGNATION	A	В	P	BKR		CIRCUIT		BKR	Р	A	В	DESIGNATION	
LIGHTING	234		1	15	1	А	2	15	1	120		RECEPT: ERV-2	
RECEPT: GENERAL		480	1	15	3	В	4	15	1		120	RECEPT: ERV-1	
RECEPT: PROJECTOR	120		1	15	5	Α	6	45		1000		110.4	
RECEPT: GENERAL		240	1	15	7	В	8	15	2		1000	HC-1	
DOOR OPERATOR (*)	120		1	15	9	Α	10	0.5		1110		0114/1114	
OUTDOOR LIGHTS		36	1	15	11	В	12	25	2		1110	OU-1 / IU-1	
SPARE	-		1	15	13	A	14	15	1	-		SPARE	
SPARE		-	1	15	15	В	16	15	1		-	SPARE	
SPARE	-		1	15	17	Α	18	15	1	-		SPARE	
SPARE		-	1	15	19	В	20	20	1		-	SPARE	
SPARE	-		1	15	21	Α	22	20	1	-		SPARE	
SPARE		-	1	15	23	В	24	-	-		-	SPACE	
SPACE	-		-	-	25	Α	26	-	-	-		SPACE	
SPACE		-	-	-	27	В	28	-	-		-	SPACE	
SPACE	-		-	-	29	Α	30	15	1	-		EXIT SIGNS (*)	
PHASE LOADS:	474	756		•	•			•		2230	2230		
TOTAL PHASE LOADS:	TOTAL PHASE LOADS: 2704 2986					SUPPLY:	120/208V, 1	Ø, 3w					
TOTAL LOADS:	5690	5690								MAINS: 100A RATED, 60A MB, BOTTOM FED			
		(*) INDICATES LOCKING BREAKER						₹		NUMBER OF CIRCUITS: 30			
CURRENT AT 208V/1PH:	27									MOUNTING: RECESS			

				MECHANIC	AL EQUIPN	MENT SCHE	DULE	
TYPE	LOCATION	DESCRIPTION	VOLTS	PHASE		LOAD		REMARKS
IIFE	LOCATION	DESCRIPTION	VOLIS	FIIAGE	KW	HP	AMPS	REWARKS
ERV-1	MOBILE UNIT	ENERGY RECOVERY VENTILATOR	120	1	0.12	-	1.4 (FLA)	SUPPLY AND INSTALL LOCAL CSA 5-15R DUPLEX RECEPTACLE LOCATED IN AN ACCESSIBLE LOCATION ADJACENT TO UNIT. ALL CONTROL WIRING TO LOW VOLTAGE THERMOSTAT TO BE COMPLETED BY OTHERS. COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR ON SITE PRIOR TO ROUGH-IN.
ERV-2	MOBILE UNIT	ENERGY RECOVERY VENTILATOR	120	1	0.12	-	1.4 (FLA)	SUPPLY AND INSTALL LOCAL CSA 5-15R DUPLEX RECEPTACLE LOCATED IN AN ACCESSIBLE LOCATION ADJACENT TO UNIT. ALL CONTROL WIRING TO LOW VOLTAGE THERMOSTAT TO BE COMPLETED BY OTHERS. COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR ON SITE PRIOR TO ROUGH-IN.
HC-1	MOBILE UNIT	HEATING COIL	240	1	2	-	8.3	HEATING COIL TO BE WIRED THROUGH DISCONNECT INTEGRAL TO THE UNIT WITH 2#12, 1#14 BOND IN 3/4"C. HEATING COIL TO BE SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR. COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR ON SITE PRIOR TO ROUGH-IN.
IU-1	MOBILE UNIT	INDOOR UNIT	240	1	-	-	-	LOCATE CSA TYPE 3R RATED, 30A UNFUSED DISCONNECT SWITCH ADJACENT TO OUTDOOR CONDENSING UNIT. EXTERIOR WIRING TO BE TECK. ALL POWER / CONTROLS WIRING BETWEEN INDOOR AND OUTDOOR UNIT TO BE SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR. COORDINATE
OU-1	OUTDOOR	OUTDOOR CONDENSER	240	1	2.14	-	16.5 (MCA) 25 (MOCP)	EXACT LOCATION OF INDOOR MINI SPLIT UNIT, OUTDOOR CONDENSING UNIT AND TYPE 3R RATED, 30A UNFUSED DISCONNECT SWITCH WITH MECHANICAL CONTRACTOR ON SITE PRIOR TO ROUGH-IN. SEAL EXTERIOR PENETRATIONS WITH LOW VoC MASTIC COMPOUND.

	LUMINAIRE SCHEDULE				
	LOIMINAINE SCHEDOLE	r	1		
TYPE	DESCRIPTION	SOURCE	MOUNTING		
A1	610mm x 1220mm LED FLAT PANEL C/W DIE-FORMED GALVANIZED STEEL HOUSING, EXTRUDED ALUMINUM FRAME, WHITE OPAL LENS, 0-10VDC DIMMABLE TO 1%, 120V DRIVER. METALUX #24CGTS-NUV (MEDIUM) CFI #2SBP3550L8CS-4-UN3-DIM (MEDIUM) LITHONIA #CPX 2X4 AL08 SWW7 M2 (MEDIUM) ELITE #24-FPL-BL-LED-4000L/5000L/6000L-DIM10-MVOLT-35K-85	LED SOURCE 39 WATT 4600 LUMEN L70 AT 90,000h 80 CRI 3500K	RECESSED IN T-BAR CEILING.		
B1	EXTERIOR LED WALL PACK, DIE-CASTHOUSING, TYPE 4 FORWARD THROW OPTIC, BLACK POWDERCOAT FINISH, 120V DRIVER + PHOTOCELL. COOPER #XTOR2B LITHONIA #WPX1 LED 40K MVOLT DBLXD KEENE #LPW16-20-NW-G3-4-UNV-BK	LED SOURCE 18 WATT 1500 LUMEN 80 CRI 4000K	WALL MOUNTED TO EXTERIOR FACADE OF THE BUILDING AT 3000mm ABOVE MAIN FLOOR FINISH LEVEL.		



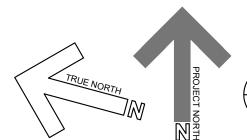


GENERAL NOTES:

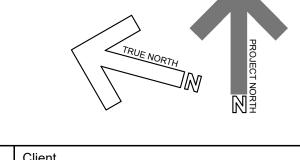
- ALL NEW CSA 5-15R AND 5-20R RECEPTACLES ARE TO BE TAMPER RESISTANT EXCEPT WHERE THEY ARE INACCESSIBLE OR MORE THAN 1830mm AFF IN ACCORDANCE WITH CSA 22.1-24 ARTICLE 26-706.
- 2. PRIOR TO COMMENCEMENT OF ANY ELECTRICAL WORK ASSOCIATED WITH THE NEW ADDITION, CONTRACTOR TO SCHEDULE AND COORDINATE WITH THE GENERAL CONTRACTOR AND OWNER FOR ANY TEMPORARY SHUTDOWN OR WORK REQUIRED AT THE EXISTING PANELBOARD 'G' TO ENSURE NO DISRUPTIONS TO THE SCHOOL'S DAILY OPERATION. CONTRACTOR TO ENSURE ALL PANELBOARDS BEING WORKED ON DURING CONSTRUCTION TO BE LOCKED AT ALL TIMES WHEN UNSUPERVISED.
- 3. GAUGE OF BRANCH CIRCUIT WIRING TO BE SIZED FOR A MAXIMUM VOLTAGE DROP OF 3% IN ACCORDANCE WITH CSA 22.1-24 SECTION 8.
- 4. EXPOSED ELECTRICAL CONDUIT BOXES AND SUPPORTS IN FINISHED AREAS ARE TO BE PAINTED THE COLOUR OF ADJACENT FINISHED SURFACE. COORDINATE EXACT COLOUR AND ASSOCIATED PAINTING WITH GENERAL CONTRACTOR ON SITE.
- COORDINATE ALL COMMUNICATIONS WORK, INCLUDING BUT NOT LIMITED TO LABELING AND TERMINATIONS WITH ITSS ON SITE. ALL COMMUNICATIONS WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE MOST UP-TO-DATE PEI GOVERNMENT (ITSS) WIRING STANDARDS.
- 6. CONTRACTOR TO PROVIDE UPDATED FIRE ALARM VERIFICATION REPORT TO THE ENGINEER CERTIFYING THAT THE EXISTING MODIFIED FIRE ALARM SYSTEM HAS BEEN TESTED AND RE-VERIFIED IN ACCORDANCE WITH CAN/ULC-S524 AND CAN/ULC-S536.

NOTE

- DUPLEX RECEPTACLE DEDICATED FOR PROJECTOR. COORDINATE EXACT LOCATION WITH DEPARTMENTAL REPRESENTATIVE ON SITE PRIOR TO ROUGH-IN.
- 2. CONNECT NEW PUBLIC ADDRESS SPEAKERS AND CALL-IN SWITCHES TO EXISTING PUBLIC ADDRESS LOOP OF EXISTING DUKANE SYSTEM WITH NEW WIRING. NEW WIRING TO MATCH EXISTING PUBLIC ADDRESS INSTALLATION BACK TO THE MAIN PA RACK LOCATED IN SECRETARY 226. EXACT RECESS MOUNTED PUBLIC ADDRESS SPEAKER MANUFACTURER TO MATCH EXISTING. COORDINATE EXACT TAP SETTING OF 70V SPEAKER ON SITE. PA SYSTEM DEVICES TO BE SUPPLIED AND INSTALLED BY ITSS, AND WIRING TO BE COMPLETED BY CONTRACTOR. COORDINATE INSTALLATION WITH ITSS ON SITE.
- 3. NEW SPEECH REINFORCEMENT RECEIVER TO BE SUPPLIED AND INSTALLED BY CONTRACTOR. RECEIVER TO BE SHELF MOUNTED ADJACENT TO TEACHER'S STATION. CONTRACTOR TO RUN 2c#18 SPEAKER CABLE AND RG59 COAX CABLE IN 21mmC FROM NEW SPEECH REINFORCEMENT SPEAKERS THROUGH ACCESSIBLE CEILING SPACE AND THEN DOWNWARDS THROUGH INTERIOR OF GYPSUM WALL CAVITY TO SPEECH REINFORCEMENT RECEIVER. SPEECH REINFORCEMENT SPEAKERS AND RECEIVER TO BE INSTALLED AND WIRED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION AND WIRING INSTRUCTIONS. SHELF TO BE PROVIDED BY OTHERS.
- 4. NEW WIRELESS ACCESS ROUTER TO BE SUPPLIED AND INSTALLED BY ITSS, AND WIRED BY THIS CONTRACTOR. WIRE ROUTER WITH ONE (1) CAT 6 COMMUNICATIONS CABLE ROUTED THROUGH THE ACCESSIBLE CEILING SPACE.
- 5. CONTRACTOR TO INSTALL ONE 27mmC C/W PULL CORD FROM HDMI AV OUTLET BOX AND STUB ADJACENT TO THE PROJECTOR. COORDINATE EXACT STUB UP LOCATION ON SITE PRIOR TO ROUGH-IN.
- 6. CONNECT TWO (2) FIRE ALARM MANUAL PULL STATIONS, ONE SMOKE DETECTOR AND ONE (1) FIRE ALARM COMBINATION NOTIFICATION APPLIANCE TO EXISTING NOTIFIER #SPF-10UD CONVENTIONAL FIRE ALARM SYSTEM LOCATED IN MACHINE ROOM 401 THROUGH NEW FIRE ALARM ADDRESSABLE INTERFACE DEVICES INSTALLED IN ACCESSIBLE CEILING SPACE OF CORRIDOR 246. ALL WIRING TO BE COMPLETED IN ACCORDANCE WITH THE MANUFACTURERS WIRING INSTRUCTIONS AND FIRE ALARM WORK COMPLETED TO CAN/ULC-S524. CONTRACTOR TO PROVIDE A SIGNED REPORT TO THE ENGINEER CERTIFYING THAT THE MODIFIED FIRE ALARM SYSTEM HAS BEEN INSTALLED AND VERIFIED IN ACCORDANCE WITH CAN/ULC-S537.
- 7. DUPLEX RECEPTACLES DEDICATED FOR ERV UNITS. COORDINATE EXACT LOCATIONS WITH MECHANICAL CONTRACTOR ON SITE.
- 8. EXTERIOR WIRING TO CSA TYPE 3R RATED UNFUSED DISCONNECT SWITCH AND ASSOCIATED CONDENSER TO BE COMPLETED WITH TECK CABLE. SEAL EXTERIOR PENETRATIONS WITH LOW VOC MASTIC COMPOUND. ROUTE EXTERIOR TECK CABLE ADJACENT TO REFRIGERANT LINES ON MECHANICAL LINE SUPPORTS. COORDINATE EXACT LOCATION AND MOUNTING OF 3R RATED DISCONNECT SWITCH ON SITE. COORDINATE EXACT MANUFACTURER RECOMMENDED MOCP PRIOR TO INSTALL.
- 9. PULL STATIONS TO BE PROVIDED WITH FLUSH MOUNTED PULL STATION COVERS. ACCEPTABLE MATERIAL: STI-13010FR OR APPROVED EQUAL



MOBILE CLASSROOM FLOOR PLAN - POWER, COMMUNICATIONS & SYSTEMS



2 MOBILE CLASSROOM FLOOR PLAN - LIGHTING

Architecture + Engineering + Project Management

Suite 201, 85 Fitzroy Street Charlottetown, PEI, Canada, C1A 1R6 Phone (902) 368-2300 www.colesassociates.com



Prince Edward Island Department of Transportation and Infrastructure PEIG DTI #470-25016

Queen Elizabeth Elementary School New Mobile Classroom Mobile Classroom Floor Plan - Power, Communications, Systems, Lighting &

No. Description Date Date: 2025-05-22

0 Issued for Tender 2025-05-22 Drn By: MP, TT, E.I.T.

Chk By: EA, P.Eng

Project Number:

251074

Drawing Number:

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Field Review of Construction Inspection Commitment Declaration Prime Consultant

o:	The authority having jurisdiction Date: MAY 2 2 2025
	PEI Department of Agriculture & Land Inspection Services
	J. Elmer Blanchard Building, 31 Gordon Drive, Charlottetown, PE
	Address (print)
ear:	Building Standards Official
e:	2 Saunders Ln, Kensington, PE C0B 1M0
	Queen Elizabeth Elementary School - Alone Mobile Classroom - DTI#470-25016
	Name of project (print)

This is to advise that I am the architect or professional engineer appointed by the owner as prime consultant to coordinate the Field Review of Construction for the above referenced project.

I hereby declare as prime consultant for this project that I will coordinate the Field Review of Construction for the following disciplines which I have checked and initialled.

Building Design Structural Plumbing
Mechanical Electrical Geotechnical

Fire Detection/Suppression System

I attach for your review the Field Review of Construction Inspection Commitment Declarations for each above marked and initialed discipline completed by an appropriate professional for each discipline, or shall forward the Field Review of Commitment Declaration for those not yet appointed.

I, and professionals who have completed the various Field Review of Construction Inspection Commitment Declarations will perform the Field Review of Construction.

I also declare that

- (1) I will coordinate the review of shop drawings;
- (2) I will coordinate the review of changes to the design documents; and
- (3) When satisfied that the work substantially complies with the design drawings I will complete or have completed by the appropriate professional the Declaration of Field Review of Construction and return it to the authority having jurisdiction prior to requesting the occupancy permit.

Please be advised that I may delegate some or all of my duties associated with the coordination of the Field Review of Construction to another person employed by me or my firm where it is consistent with prudent professional practice to do so. The functions will however be performed under my supervision in accordance with the *Engineering Profession Act*, R.S.P.E.I. 1988, Cap. E-8.1, or the *Architects Act*, R.S.P.E.I. 1988, Cap. A-18.1.

I shall notify the authority having jurisdiction, in writing as soon as practical, but not later than 3 business days, if the contract for Field Review of Construction is terminated at any time during construction.

Darrin Dunsford, AAPEI	(Affix below the seal of the licensed architect or professional
Print Ripme	engineer as appropriate and accollence with provincial legislation)
Signature	CERTIFICATEO OF PRACTICE
Coles Associates Ltd.	7777
Print name of Firm or Company	
201-85 Fitzroy Street, Charlottetown, PE C1A 1R6	Darrin Dunsford
Address / Municipality Postal Code	Coles Associates Ltd.
902-368-2300 ddunsford@colesassociates.com	
Phone E-mail	OF SAINCE EDWARD ISLAND Project #251074
	Project #251074

То:	The authority having jurisdiction Date: PEI Department of Agriculture & Land Ins J. Elmer Blanchard Building, 31 Gordon D	pection Services
	Address (print)	
Dear:	Building Standards Official	
Re:	2 Saunders Ln, Kensington, PE C0B 1M0 Queen Elizabeth Elementary School - Alo Name of project (print)	ne Mobile Classroom - DTI#470-25016
	s to advise that I am the architect or profestant to perform the Field Review of Construction	ssional engineer appointed by the owner or prime on for (check appropriate box):
□ Mec	ding Design Structural hanical □ Electrical Detection/Suppression System	□ Plumbing □ Geotechnical
I herel	by declare that:	
	will review the shop drawings to determine ge ever, the party producing the shop drawings re	neral compliance with the design documents, mains responsible for the design expressed therein;
	will coordinate the review of changes to them to the Code; and	he design drawings to determine that the changes
Declar		aplies with the design drawings, I will complete the eturn it to the authority having jurisdiction prior to
Constr profes accord	ruction to another person employed by me sional practice to do so. The functions will	of my duties associated with the Field Review of or my firm where it is consistent with prudent however be performed under my supervision in Cap. A-18.1 or the Engineering Profession Act,
	notify the authority having jurisdiction, in writ f the contract for Field Review of Construction	ting as soon as practical, but not later than 3 business is terminated at any time during construction.
Nazm Print Na	i Lawen, P./Eng.	(Affix below the seal of the licensed architect or professional engineer as appropriate in accordance with provincial legislation)
Signatur	e poort or	SIONAL FACE
	Associates Ltd. me of Firm or Company	THE ASSOCIATION OF
201-85	Fitzroy Street, Charlottetown, PE C1A 1R6 /Municipality Postal Code	O Tri Pagnate Or Ponce English Island
902-36 Phone	8-2300 nlawen@colesassociates.com E-mail	Nazmi Lawen 344 22 3

Tai	The authority having jurisdiction Date: MAY 2 2 2025				
10:	To: The authority having jurisdiction Date: PEI Department of Agriculture & Land Inspection Services				
	J. Elmer Blanchard Building, 31 Gordon Drive, Charlottetown, PE				
	Address (print)	HALLES TO THE STATE OF THE STAT			
Dear:	Building Standards Official				
Re:	2 Saunders Ln, Kensington, PE C0B 1M0	DTI#470.05040			
	Queen Elizabeth Elementary School - Alon Name of project (print)	e Mobile Classroom - D11#470-25016			
	name of project (printy				
	to advise that I am the architect or profess ant to perform the Field Review of Construction	ional engineer appointed by the owner or prime for (check appropriate box):			
Buildi	ng Design	□ Plumbing			
77 ☐ Mecha		□ Geotechnical			
□ Fire D	etection/Suppression System				
I hereby	declare that:				
(1) I v	will review the shop drawings to determine gen	eral compliance with the design documents,			
		ains responsible for the design expressed therein;			
(2) I	will coordinate the review of changes to the	e design drawings to determine that the changes			
` '	n to the Code; and	a design and variety of designation state and the commence			
(2) W	Then entirefied that the work substantially comm	blies with the design drawings, I will complete the			
		urn it to the authority having jurisdiction prior to			
	ing the occupancy permit.				
•					
		of my duties associated with the Field Review of			
		or my firm where it is consistent with prudent			
A	nnce with the Architects Act, R.S.P.E.I. 1988, C	however be performed under my supervision in			
	E.I. 1988, Cap. E-8.1.	up. 11-10.1 of the Engineering Projession 1201,			
11,511 12	1900, Oup. — 0121				
		ng as soon as practical, but not later than 3 business			
days if	days if the contract for Field Review of Construction is terminated at any time during construction.				
	(Affix below the seal of the licensed architect or professional				
Darrin Prin y Nam	Darryn Dunstord, AAPEI engineer as appropriate in accordance with provincial legislation)				
Scalar Associates I td. 12-16					
V Coles A	ssociates Ltd.	12-16 On			
Print name	e of Firm or Company	CERTIFICATE OF PRACTICE			
201-85 Fitzroy Street, Charlottetown, PE C1A 1R6					
Address / Municipality Postal Code					
902-368 Phone	-2300 ddunsford@colesassociates.com E-mail	Darrin Dunsford			
		Coles Associates Ltd.			

To:		aving jurisdiction Date:	May 21, 2025
		t of Agriculture & Land Instant Building, 31 Gordon	
Dear: Re: Building Standards Official 2 Saunders Ln, Kensington, PE C0B 1M0 Queen Elizabeth Elementary School - Alone Mobile Classroom - DTI#470-250 Name of project (print)			
			essional engineer appointed by the owner or prime ion for (check appropriate box):
500 Mech	ling Design nanical Detection/Suppression	□ Structural □ Electrical on System	□ Plumbing □ Geotechnical
I hereb	y declare that:		
			eneral compliance with the design documents, mains responsible for the design expressed therein;
	will coordinate t m to the Code; and		the design drawings to determine that the change
Declar	When satisfied that ation of Field Re ting the occupancy	view of Construction and a	mplies with the design drawings, I will complete the return it to the authority having jurisdiction prior to
Constr profess accord	uction to another sional practice to	person employed by me do so. The functions with nitects Act, R.S.P.E.I. 1988,	of my duties associated with the Field Review of or my firm where it is consistent with pruder labeled however be performed under my supervision in Cap. A-18.1 or the Engineering Profession Act,
			iting as soon as practical, but not later than 3 busines is terminated at any time during construction.
Sean N	Wheeler, P. Eng.		(Affix below the seal of the licensed architect or professional engineer as appropriate in accordance with provincial legislation)
Signature			SSIONAL EN
	Associates Ltd.		SEOFESSIONAL ENGINEE
201-85	Fitzroy Street, Cha Municipality	rlottetown, PE C1A 1R6 Postal Code	
902-36 Phone	8-2300 swheeld E-mail	er@colesassociates.com	Sean W. Wheeler

То:	PEI Department of Agriculture & Land Inspection Services J. Elmer Blanchard Building, 31 Gordon Drive, Charlottetown, PE			
kilin.	Address (print)			
Dear: Re:	Building Standards Official 2 Saunders Ln, Kensington, PE C0B 1M0			
,	Queen Elizabeth Elementary School - Alon Name of project (print)	ne Mobile Classroom - DTI#470-25016		
This is	s to advise that I am the architect or profes tant to perform the Field Review of Construction	sional engineer appointed by the owner or prime on for (check appropriate box):		
□ Mech	ling Design Structural Particular	□ Plumbing □ Geotechnical		
I hereb	by declare that:			
(1) I how	will review the shop drawings to determine genever, the party producing the shop drawings ren	neral compliance with the design documents, nains responsible for the design expressed therein;		
	will coordinate the review of changes to the m to the Code; and	ne design drawings to determine that the changes		
Declar	When satisfied that the work substantially comation of Field Review of Construction and reting the occupancy permit.	plies with the design drawings, I will complete the sturn it to the authority having jurisdiction prior to		
Constr profess accord	ruction to another person employed by me	of my duties associated with the Field Review of or my firm where it is consistent with prudent however be performed under my supervision in Cap. A-18.1 or the Engineering Profession Act,		
	notify the authority having jurisdiction, in writ the contract for Field Review of Construction	ing as soon as practical, but not later than 3 business is terminated at any time during construction.		
Eliana	Ayoub, P. Eng.	(Affix below the seal of the licensed architect or professional engineer as appropriate in accordance with provincial legislation)		
Print Na	me Salara	engineer as appropriate in accordance with provincial registation)		
Signature				
	Associates Ltd.	SSIONAL ENGIN		
201-85	Fitzroy Street, Charlottetown, PE C1A 1R6	Or the Parints Of Paner Board Inc.		
902-36 Phone	Municipality Postal Code 8-2300 eayoub@colesassociates.com E-mail	Eliana Ayoub 1777 05-22-2025		

Letter of Undertaking Declaration of Commitment by Owner to the Authority Having Jurisdiction

The authority having jurisdiction

To:

Phone

			& Land Inspection Services
	J. Elmer I Address (1		1 Gordon Drive, Charlottetown, PE
	Address (printy	
Re:	2	SAUNDERS	LANE, KENSINGTON, PE COB 140
	Address o	f project (print)	
	QUEE	W EUTABETE	4 ELEMENTARY - STAND ALONE MOBILE CLAS.
	Name of p	project (print)	DEIG DT/ # 440-25016
(Submit this of for a building		Letter of Undertaking	to the authority having jurisdiction along with a completed application
prime consu	ıltants to		re appointed one or more architects, professional engineers, or ed, the Field Review of Construction and I have attached to this boxes)
		onstruction Commitme Field Review of Cons	ent Declarations completed by me or the prime consultant appointed struction.
			ont Declarations (identified below) completed by individual dd Review of Construction for the applicable discipline(s).
□ I shall forw	ard Field	Review of Construction	n Commitment Declarations for those not yet appointed.
(Initial the dis	sciplines t	hat apply to this project	t. All disciplines will not necessarily be employed on every project)
□ Building D	ecian	□ Structural	□ Plumbing
□ Mechanical	7 - E	□ Electrical	
		ession System	
attached "Re Field Revie engineer immand the necessity	eview of w of Co mediately essary Fi	Construction Commit on the construction for this by so that the Field Related Review of Construction Construction Construction Construction Construction Construction Construction Construction Construction Committee Construction C	diction if the architect, or professional engineer named in the itment Declarations" ceases, for whatever reason, to provide the building and shall appoint another architect and professional eview of Construction will continue uninterrupted. This notice truction Commitment Declaration(s) shall be forwarded to the actical, but not later than 3 business days.
Abd Signature of Own	Cofy	Date O	y 22, 2025
ARBER Print name	2 04	90 PEI Dep	+ of TRANSPORTATION AND INFASTRUCTU
11 Ken	15 57	PEET, 20 30	OX 2000, CHARLOTTETOMIN, PE CIE 7
Address			Postal Code
902 -	218-	1694 ac	apo a gov. pe.ca

E-mail

Town of Kensington - Request for Decision

Date: June 9, 2025	Request for Decision No: 2025-24
	(Office Use Only)

Topic: PEI Rural Growth Initiative – Capital Assistance Application

Proposal Summary/Background:

The Town of Kensington is preparing a funding application to the PEI Rural Growth Initiative for a series of capital improvements that will enhance emergency services and tourism-related infrastructure. The proposed project includes:

- Fire Department:
 - o Procurement of new bunker gear.
 - o Lifting and leveling of the concrete apron in front of the fire hall.
 - o Replacement of interior flooring in the fire hall.
- Tourism Infrastructure Freight Shed:
 - Installation of three heat pumps in the Freight Shed, which houses two seasonal tourism-based operations: the Kensington Art Co-op and the Kensington Artisans Coop.

This initiative is designed to improve public safety, enhance critical infrastructure maintenance, and support economic development through improved tourism services.

Benefits:

- Enhances firefighter safety and operational readiness.
- Improves drainage and building longevity at the fire hall.
- Increases energy efficiency and extends the usability of a key tourism space.
- Promotes cultural and economic activity within the community.

Disadvantages:

- No significant disadvantages are identified.
- The Town will be required to fund its share of project costs and assume responsibility for long-term maintenance.

Discussion/Comments:

The PEI Rural Growth Initiative supports investments in municipal infrastructure that enhance

community resilience, quality of life, and rural economic development. The proposed projects align with the program's objectives and reflect immediate and long-term priorities for the Town.

The RGI will fund 75% of the proposed fire related projects up to a maximum of \$250,000. The Heat Pump component of the RGI will fund 100% of the heat pump costs to a maximum of \$20,000.

All components of the application have been costed and can be accommodated within the Town's capital planning framework. Council approval is required to formalize the application and confirm the Town's financial and operational commitments.

Options:

- 1. Approve the funding application and associated commitments.
- 2. Approve the application with modifications to scope.
- 3. Decline to proceed with the application.

Costs/Required Resources:	Source of Funding:		
\$51,555.14	Rural Growth Initiative Fund		
RGI – \$43,316.32	Fire Department Capital		
Town (Fire Dept) – \$8,238.82			

Recommendation:

That Town Council approve the submission of the funding application to the PEI Rural Growth Initiative as presented.

Proposed Resolution:

BE IT RESOLVED THAT Town Council approve the submission of a funding application to the PEI Rural Growth Initiative to support the following initiatives:

- Procurement of new bunker gear for the Kensington Fire Department;
- Lifting and leveling of the concrete slab at the fire hall apron;
- Replacement of fire hall flooring; and
- Installation of two heat pumps in the Town's Freight Shed to support local tourism operations.

BE IT FURTHER RESOLVED THAT Town Council understands and commits that it will be responsible for its designated share of the total eligible costs of the project and will assume responsibility for all operations and maintenance costs resulting from the project.

BE IT FURTHER RESOLVED THAT Town Council authorize the Chief Administrative Officer to finalize and submit the funding application and to execute any agreements or documents required to facilitate the implementation of the project, subject to confirmation of funding.



		: Personal information on this form is collected under section 32(1) of	
Date Received:	the Freedom of Information and Protection of Privacy Act R.S.P.E.I. 1988, Cap. F-15.01, as it relates directly to and is necessary for the programs administered under the Rural Growth Initiative. If you have any questions about this collection of personal		
File Number:	information you may contact the Director of Rural and Regional Development - PO Box 1180, Montague, PE COA 1R0 or call 902-838-0662.		
		INSTRUCTIONS	
Please read the program guidelines and the			
 Please fill out the entire application form application to ensure you submit the nece submitted. 	and ensure you atta ssary documents. A	ch the proper documents. See the checklist at the end of this pplications will not be assessed until all required information is	
,		vth Initiative are required to fill out Appendix A. elopment Officer in your region (contact information on p. 5).	
PLEASE SELECT WHICH FUNDING STR	EAM YOU ARE AI	PPLYING FOR (SELECT ONE):	
Community Revitalization C	Community Capacity	Building	
1	APPLICANT I	NFORMATION	
Organization Name (Legal operating name):			
Mailing Address:			
Phone Number:		E-mail:	
HST Number:		HST/GST Rebate %	
Primary Contact Information (this should be the person who will oversee the pr	oject and be able to a	nswer any questions concerning project activities):	
Name: Titl		Title/Position:	
E-mail:		Phone:	
Secondary Contact Name: (this should be the person able to answer question	ns about the project if	the primary contact is unavailable)	
Name:	Title	Position:	
E-mail:	Phon	Phone:	
Organization Overview			
What year was your organization established?			
How many volunteers/members are involved w	_		
Applicant Profile - Please include a short de	scription about yo	ur organization such as its history, mission and activities.	



PROJECT	INFORMATION
Project Title:	
Project Location Address:	
Expected Start Date:	Expected Completion Date:
Requested Funding:	
Project Overview: Please answer the following questions. You ma	y attach separate documentation if space insufficient.
Provide a brief description of the project	
For projects requesting COMMUNITY CAPACITY fund	ing only: How will the project increase long-term community nce rural communities
enpuersy to provide our vices that our engener and, or enhance	nee rurur eesimmumeres
For projects requesting <i>COMMUNITY REVITALIZATI</i> services that your organization offers or plans to offer?	ON funding only: How will the project increase or maintain access to
, ,	



responsible for maintaining t	product of the project will be maintained A he end products and how they will be finan ur response such as an operational plan. Ple	ced long-term. Yo	u may attach additional
For projects purchasing or cons	structing equipment that will result in elect	ric or heating ener	gy efficiency ONLY
Was an energy audit complete	d? Yes No		
Date of last energy audit complet	:ed:		
Please attach energy audit to ap	oplication.		
Note: If you will be applying for Please be in touch with efficienc	an efficiencyPEI rebate as part of your project, yPEI.	, you may be require	ed to complete an energy audit.
Project Timeline: Please name v project timeline if space is insuff	when major project milestones or outcomes are icient.	e planned to be com	pleted. You may attach a separate
	Project Milestone/Outcome:		Date of completion:
	_		
FOR PROJECTS REQUEST	ING FUNDING GREATER THAN \$250,00 APPENDIX A FOUND AT THE END OF T		
FOR PROJECTS REQUEST	APPENDIX A FOUND AT THE END OF T	THIS APPLICATION	
, c	AUTHORIZED SIGNING	OFFICERS	ON.
Please provide signatures below	APPENDIX A FOUND AT THE END OF TO AUTHORIZED SIGNING of or individuals authorized to sign agreements,	OFFICERS	ON. inancial claim forms.
Please provide signatures below Name	AUTHORIZED SIGNING	OFFICERS	ON.
Please provide signatures below Name 1.	APPENDIX A FOUND AT THE END OF TO AUTHORIZED SIGNING of or individuals authorized to sign agreements,	OFFICERS	ON. inancial claim forms.
Please provide signatures below Name	APPENDIX A FOUND AT THE END OF TO AUTHORIZED SIGNING of or individuals authorized to sign agreements,	OFFICERS	ON. inancial claim forms.



PROPOSED PROJECT EXPENDITURES			
If space not sufficient, please attach separate budget to application			
Item	Vendor and/or Quote Number	Estimated Amount	
TOTAL			
ALL QUOTES MUST BE ATTACHED TO THE APPLICATION			

PROJECT CONTRIBUTORS

Please name <u>ALL</u> potential sources of funding for your project (including funds requested from the Rural Growth Initiative).

Please attach verification of funding to application. If space insufficient, a separate list can be attached to the application.

Source	Amount	Is amount confirmed (select one)?	
		Confirmed	Pending
Rural Growth Initiative			
Applicant Contribution			
TOTAL (must equal total proposed project expenditures from p. 3)			



APPLICANT CHECKLIST

Applications will be reviewed for completion and assessed based on the program guidelines. *Applications will not be assessed until all necessary documentation is received.* Please review the checklist below to ensure your application is not delayed due to missing information. *Please note that additional information may be required for some projects.*

- Project Quotes (i.e. quotes from contractors)
 - Note: Projects with heat pumps must be installed by a contractor on efficiencyPEI's Network of Excellence list. Heat Pumps must also be NEEP certified and listed under the NEEP database found at: https://ashp.neep.org/#!/
- Proof of applicant's portion of project costs (i.e. bank statements)
- Proof of funding agreements with other project contributor(s) (i.e. ACOA agreement)
- Commercial General Liability Insurance Certificate of Insurance showing \$2 million minimum and PEI Government as an additional insured (PEI Government Address: PO Box 2000 Charlottetown PE CIA 7NA)
- Board of Directors/Council resolution supporting project (i.e. meeting minutes)
- Declaration of Tax Status Form If the grant request is over \$10,000, please note Section 4 a) and b) on the Form.
- Proof of PEI Incorporated Status (CRA Business or Charitable Tax Number).
- If applicable:
 - o Appendix A (For projects requesting \$250,000 in funding or more only)
 - Copy of Energy Audit
 - o Relevant Building Permits
 - o Description of Environmental Assessments taken
 - o Strategic, business, operational, or building plans relevant to project
 - o <u>If requesting Reception Centre Resiliency Funds only:</u> Confirmation that the center for which designated reception centre **by** Emergency Measures Organization.

DECLARATION

I hereby declare that all information contained in and/or attached to this application is true, complete and accurate.

I hereby declare that all information contained in and/or attached to this application is true, complete and accurate.			
Applicant Name (Print)	Title/Position	Signature	Date

CONTACT INFORMATION

If you have any questions about your application or for more information about the Rural Growth Initiative or other programs delivered by Rural and Regional Development please contact the Community Development Officer in your region.

Area	Name	Phone	E-mail
West Prince	Ellen Rennie	902-853-0104	emrennie@gov.pe.ca
East Prince/Central Queens	Kellie Mulligan	902-887-3975	kamulligan@gov.pe.ca
Evangeline (Bilingual)	Giselle Bernard	902-854-3680	gbbernard@gov.pe.ca
Southern Kings/Queens	Sonia Dixon	902-838-0618	sddixon@gov.pe.ca
Eastern Kings	Chris Blaisdell	902-208-0032	cwblaisdell@gov.pe.ca

PLEASE SUBMIT COMPLETED APPLICATIONS TO THE COMMUNITY DEVELOPMENT OFFICER IN YOUR REGION



APPENDIX A

To be filled out for projects requesting funding greater than \$250,000

10 be filled out for projectist equesting full ding greater than \$2.50,000
REGIONAL BENEFITS
Please describe the regional benefits your project will result in. This could include how the project will result in partnerships with other groups or have positive impacts on communities beyond the one where your organization is located.
You may attach separate documentation to support your response. Please reference these documents in the below space.
COMMUNITY CONSULTATION:
Please describe the type of community consultations conducted that resulted in support for your project. This could include holding a community meeting, conducting a strategic planning process with community members, or some other assessment process.
You may attach separate documentation to support your response. Please reference these documents in the below space.



PROJECT MANAGEMENT		
Please answer the following questions. If you have a separate project management plan, you may attach it to the application to supplement your responses.		
Who will be the main project manager? What are th	eir responsibilities?	
	project risks and how will these be mitigated throughout the project.	
Project Risk	Mitigation Strategy	
PLEASE ATTACH PROJECT DESIGN PLANS IF APPLICABLE		

Town of Kensington - Request for Decision

Date: June 9, 2025	Request for Decision No: 2025-25	
	(Office Use Only)	

Topic: Reallocation of Canada Community Building Fund Project – Playground Infrastructure

Proposal Summary/Background:

The Town of Kensington previously submitted a project application under the Canada Community Building Fund (CCBF) for upgrades to the existing playground infrastructure located at Roy Paynter Park. Since that time, Town Council has reconsidered the long-term recreational priorities of the community and has resolved to pursue the development of a brand new playground facility at Centennial Park instead.

This proposed shift reflects a broader strategy to enhance recreation infrastructure in a more centralized, accessible location with greater public visibility and potential for multi-use activity.

The Rural Municipality of Malpeque are intent on committing a contribution of \$75,000 from their own CCBF allocation to assist in funding the new Centennial Park project.

This Request for Decision seeks Council's authorization to:

- 1. Withdraw and delete the Roy Paynter Park Upgrades project from the Town's current CCBF Capital Investment Plan;
- 2. Approve and submit a new project application under the CCBF for the development of a new playground at Centennial Park; and
- 3. Authorize the receipt of \$75,000 in inter-municipal CCBF funding from the Rural Municipality of Malpeque.

Benefits:

- Enhanced recreational infrastructure at a more central and accessible location.
- Stronger alignment with Council's vision for community growth.
- Opportunity to deliver a higher-quality project through inter-municipal cost sharing.
- Reinforces Kensington's role as a recreational hub for the surrounding region.

Disadvantages:

- No significant disadvantages are identified.
- Minor administrative delay resulting from the withdrawal and re-submission of the CCBF application.

Discussion/Comments:

In assessing the Town's current and future recreational infrastructure needs, Council identified Centennial Park as a more strategic location for significant playground investment. Its central location, adjacency to other community amenities (swimming pool, proposed splash pad), and higher visibility make it more suitable for the level of investment envisioned.

Roy Paynter Park will continue to serve as a community space; however, the site has spatial and accessibility limitations that reduce its potential as a long-term playground hub. The opportunity to redirect funding toward a new playground at Centennial Park enables the Town to meet the needs of a broader user base, while also maximizing the value and impact of the investment.

The Rural Municipality of Malpeque's contribution to the Centennial Park project represents a positive example of regional collaboration, acknowledging that many of their residents also use recreational amenities within Kensington. The joint funding approach aligns with the intent of the Canada Community Building Fund, which encourages inter-municipal cooperation and strategic infrastructure investments that benefit broader communities.

Staff have confirmed that the proposed reallocation is permissible within the guidelines of the CCBF program and have initiated preliminary discussions with program administrators to facilitate a smooth transition between the original and revised projects.

Brief Project Summary of Centennial Park Playground project (from project application):

"The project consists of the construction of a new playground within Centennial Park, located in the centre of the Town of Kensington. The playground will feature a variety of modern play equipment designed to engage children of different age groups and encourage outdoor activity. Centennial Park was selected for its central location, high visibility, and close proximity to other community amenities, making it a natural gathering place for residents and visitors alike.

The scope of the project is to complete site preparation, supply and install new playground equipment, and undertake associated improvements such as surfacing, landscaping, benches, and signage. The work will also include the development of pathways and connections within the park to ensure the playground is well integrated into the overall green space. All equipment and materials will be selected with durability, safety, and long-term maintenance in mind.

The aim of the project is to enhance the recreational offerings within the Town of Kensington by creating an inviting and engaging space for children and families. The playground will serve as a destination within Centennial Park, encouraging physical activity, social interaction, and community use of public space throughout the seasons."

Options:

- 1. Approve the recommended resolutions to proceed with the revised project scope, updated application, and acceptance of external funding support.
- 2. Maintain the original project at Roy Paynter Park.
- 3. Refer the matter back to staff for further deliberation.

Costs/Required Resources:	Source of Funding:
\$ 140,669.10	Town of Kensington – DA-CCBF
	Rural Municipality of Malpeque – CCBF

Recommendation:

That Town Council approve the withdrawal of the Roy Paynter Park project from the CCBF Capital Investment Plan, authorize the submission of a new application for the development of a new playground at Centennial Park, and formally approve the receipt of \$75,000 in funding from the Rural Municipality of Malpeque in support of the revised project.

Resolutions:

Withdrawal of Roy Paynter Park Project

BE IT RESOLVED THAT Kensington Town Council hereby authorizes the withdrawal of the previously approved and submitted Canada Community Building Fund (CCBF) project for the upgrades to the Roy Paynter Park Playground and further directs staff to delete the project from the Town's active CCBF Capital Investment Plan.

Submission of New CCBF Project for Centennial Park

BE IT RESOLVED THAT Kensington Town Council hereby approves the development of a new playground at Centennial Park and authorizes the submission of a revised project application under the Canada Community Building Fund (CCBF) to reflect this change.

BE IT FURTHER RESOLVED THAT the Chief Administrative Officer be authorized to take all necessary steps to complete and submit the revised application and associated documentation.

Receipt of Inter-Municipal CCBF Funding

BE IT RESOLVED THAT Kensington Town Council hereby authorizes the receipt of a \$75,000 contribution from the Rural Municipality of Malpeque's Canada Community Building Fund allocation toward the development of the Centennial Park Playground project.

BE IT FURTHER RESOLVED THAT the Town of Kensington acknowledges and accepts full responsibility for the management, reporting, and completion of the project in accordance with the terms and conditions of the CCBF program.



Canada Community Building Fund Capital Investment Plan Application CCBF-DA-CIP CCBF-NA-CIP

Please Prepare a Separate Capital Investment Plan (CIP) Application for Each Project

Project Title:	Centennial Park Playground
----------------	----------------------------

1. Contact Information

Rural Municipality	/Town/City of:		Ke	ensington
Street Address/P.C	O. Box:	55 Victoria Street East		treet East
Postal Code:	C0B	C0B 1M0		
Municipal Tel:	(902) 83	(902) 836-3781		
Municipal Email:	<u>cao@ken</u>	cao@kensington.ca		
Contact Name:	C	Geoff Baker		
Official Title:	Chief Ad	hief Administrative Officer		

2. Eligible Project Categories

Project Category:	Recreational Infrastructure
-------------------	-----------------------------

3. Project Information

Brief Project Description (Short description of the issue and physical work required to resolve issue):

The project consists of the construction of a new playground within Centennial Park, located in the centre of the Town of Kensington. The playground will feature a variety of modern play equipment designed to engage children of different age groups and encourage outdoor activity. Centennial Park was selected for its central location, high visibility, and close proximity to other community amenities, making it a natural gathering place for residents and visitors alike.

The scope of the project is to complete site preparation, supply and install new playground equipment, and undertake associated improvements such as surfacing, landscaping, benches, and signage. The work will also include the development of pathways and connections within the park to ensure the playground is well integrated into the overall green space. All equipment and materials will

Project Location(s) (Street Address and/or PID):

Centennial Park - 25 School Street - PID No. 79525

Municipality:	Kensington	Postal	Code:	C0B 1M0
Signed & Sealed Council Resolution Mailed?				
Date of Resolution:	June 9, 2025	5		

4. Estimated Eligible Costs (do not include taxes, they will calculate automatically)

	Amount	
1. Design/Engineering	\$15,000.00	
2. Construction/Demolition	\$92,881.00	
3. Contingency	\$20,000.00	
4a. Other (Please Specify):		
4b. Other (Please Specify):		
4c. Other (Please Specify):		
5. Subtotal	\$127,881.00	
6. Total HST	\$19,182.15	
7. Minus HST Rebate	\$6,394.05	\$12,788.10
8. Total Eligible Costs	\$140,669.10	

5. Proposed Project Financing

Year	Estimated Eligible Project Costs*	MSC Funding Requested	DA/NA CCBF Funding	Applicant's Funding	Other
2024/25	\$140,669.10		\$52,881.00		\$87,788.10
2025/26					
2026/27					
2027/28					
2028/29					
TOTALS	\$140,669.10	\$0.00	\$52,881.00	\$0.00	\$87,788.10

6. Proposed Sources of Funding

Project Funding Sources	Confirmed?	Amount
CCBF Direct/Notional Allocation	No	\$52,881.00
Applicant's Share		
Other Provincial Source (Specify the Program Below) "IMCEG		\$12,788.10
Other Federal Source (Specify the Program Below)		
Other (Specify the Program Below) "Rural Municipality of Malpeque		\$75,000.00
	Total	\$140,669.10

Projects involving funding from other sources require confirmation that the funding has been approved, or is under consideration. Provide at the time of submission of CIP.

7. Project Timelines

Activity	Start Date	Completion Date
Tender or Request for Quotation Date	September 15, 2025	October 30, 2025
Tender or Request Award Date	November 10, 2025	
Design/Engineering Date	June 30, 2025	August 31, 2025
Other (Specify Below) "Installation/Construction	May 1, 2026	June 15, 2026
Expected Project Start and Completion Dates	June 30, 2025	June 15, 2026

8. Housing - Project Level Reporting Identification

Ultimate Recipients with a population of 30,000 or more and have identified housing pressures that can be addressed through closing infrastructure gaps or capacity building, must fill out the table below:

UR Name	Project Level Reporting Criteria	Key Infrastructure-Related Housing Pressures - Identify key
(Municipality)		housing gaps and needs related to Infrastructure.
	Municipal population >30,000 as	
	per the 2021 Census data.	

Recipients with a population of 30,000 or more must complete APPENDIX A of this Capital Investment Plan form. Recipients are also required to complete a Housing Needs Assessment by March 31, 2025.

9. Please the proje	e select all applicable outcomes below. You do not need to provide the actual data until ect is completed.
	Schedule H Indicators and Outcomes
	# of km of recreational paths built or extended or improved.
	Increase in the # of users as a result of investment.
	% of residents who will benefit from the investment.

9. Program Requirements	
The following are requirements of the program:	
Application includes signed & sealed Council Resolution supporting the application	Yes
Application includes approval from Council if any municipal funds are to be spent	Yes
Applicant accepts responsibility for the project's ongoing operations and maintenance costs	
Applicant agrees to purchase and install signage when required through communications	Yes
Applicant agrees to participate in Province-wide Asset Management Program	Yes
Applicant confirms that an auditor has been hired or arrangements have been made to hire an auditor	
Applicant confirms that the proper budgetary process has been followed for this project	
Applicant confirms that the project has not been awarded or started	Yes
CPEI-Infrastructure@gov.pe.ca Please also send a signed and sealed copy in the mail to the following address (or hand de Infrastructure Secretariat P.O. Box 2000, Charlottetown, PE C1A 7N8	eliver):
The Council of the City/Town/Rural Municipality of: Kensington	
does herby submit this application to the Direct Allocation/Notional Allocation Capital Investment Pland, which has been approved at a Council meeting dated June 9, 2025	
In providing this submission, the Council declares that the above is, to the best of its knowledge and belief, true in substance and in fact.	
MAYOR/CHAIR (Sealed signature) Date	
CHIEF ADMINISTRATIVE OFFICER (Sealed Signature) Date	

Town of Kensington - Request for Decision

Date: June 9, 2025

Request for Decision No: 2025-26

(Office Use Only)

Topic: Rural Beautification Society Annual Sponsorship

Proposal Summary/Background:

A request has been received from the Prince Edward Island Rural Beautification Society requesting Town Council's consideration for sponsorship for 2025. The Town has sponsored the Rural Beautification Society in each of the past 3 years at \$1,000 (major sponsor level).

The PEI Rural Beautification society has a long history of promoting community pride and rural beautification across PEI. The organization encourages property improvements, landscaping, and overall rural aesthetics through contests and awards that highlight the value of well-maintained properties.

The Town's past contributions have helped support the Society's operational efforts and award programs and have been acknowledged in their public materials.

Benefits:

• Will aid the PEI Rural Beautification Society in encouraging Islanders to enhance and improve the rural landscape of PEI.

Disadvantages:

• No significant disadvantages are noted.

Discussion/Comments:

The Town up until 2019 provided an annual sponsorship to the Rural Beautification Society of \$300.00 per year. No sponsorship was made in 2020 or 2021 (presumably because of the COVID-19 pandemic). In each of 2022, 2023, and 2024 the Town became a major sponsor in the amount of \$1,000 per year.

Options:

- 1. Approve a \$1,000 sponsorship.
- 2. Approve a sponsorship of a different amount.
- 3. Not approve sponsorship.

Costs/Required Resources:	Source of Funding:	
TBD	General Government - Donations	

Recommendation:

It is recommended that Town Council consider the sponsorship request and authorize the CAO accordingly.



Jeff Spencer - Mayor Town of Kensington PO Box 418 Kensington, PE COB 1MO

Dear Jeff.

Thank you again for your kind sponsorship of \$1,000. We were very pleased to have you as a Major Sponsor.

Since 1945, the Prince Edward Island Rural Beautification Society has been recognizing Islanders for enhancing the rural landscape of our beautiful province. Our organization offers various competitions and prizes are awarded in each county with the judge's overall winners capturing the Annual Provincial Awards. Every year, we present \$15,000 in prize money and prize winners are invited to our Annual Awards Ceremony, where they receive their well-deserved recognition.

As you can imagine, it takes a great deal of funds to make all of this happen. In the past, we have had tremendous support from the corporate community, and we are hopeful that you will remain on our list of sponsors. We will send an invoice with payment not required until August 01,2025. We are a registered "Not for Profit Charity," and we will provide a charitable tax receipt for your donation.

We believe our combined efforts are truly making a difference in the rural landscape of Prince Edward Island and we are grateful for your continued support.

Regards,

Janet Cotton

Board Member

PEI Rural Beautification Society

902-886-2528

higher Cheque is readyplease

PLance me at 902-886-2528

Sharks Janet



2025 Sponsorship Agreement

There are four levels of sponsorship. We don't need to receive payment today. All we need is your commitment to support.

We will send an invoice with payment not due until August 01,2025

Please confirm your sponsorship by contacting: Glenn Holmes - Executive Director rglennholmes@outlook.com / 902-393-6967

or you can complete this Sponsorship Agreement and mail to:
PEI Rural Beautification Society
PO BOX 1194
Charlottetown, PE
C1A 7M8

Business Name		
Contact	Phone	Cell
Address		
Email	s	ponsorship Amount \$
SPONSORSHIP LEV	EL	
Bronze Sponsor	(up to \$249) - 2 tickets to	Awards Ceremony
Silver Sponsor (\$250-\$499) – 2 tickets to <i>F</i>	Awards Ceremony
Gold Sponsor (\$	500-\$999) – 2 tickets to Av	vards Ceremony
Major Sponsor (\$1000+) – 2 tickets to Awai	ds Ceremony and your company logo on
the front cover of the C	ompetition Book and Awards	Ceremony Program.

*All sponsors/donors confirmed at the time of printing, will be listed in the PEI Rural Beautification Competition Book & Awards Dinner Program.

Charitable receipts issued for all sponsorships.



We gratefully acknowledge the support from the following sponsors.

Bronze Sponsors

Island Coastal Services, Centennial Auto Group, Lawns & Beyond,
VanKampen's Greenhouse, Kelvin Grove Women's Institute, Family of Nina Crozier,
Ron Barrett - Century 21 Northumberland Realty, Tignish Community Relations, Phillips Auto Sales,
Knutsford Women's Institute, Toombs Plumbing & Heating, Jewel's Country Market,
Brackley Beach Women's Institute_Todd Murphy Transport, Sharpe Construction, Sterling Women's Institute,
Maritime Electric, Vernon & Bertha Campbell, North Milton Women's Institute, Family of Leone Bagnall,
New London Women's Institute, Locus Surveys, L& C Enterprises Inc., E&S Waugh Farms,
Red Sands Golf Course, A&J Off-Road Trucking, The Medicine Shoppe-Alberton, R.A. Rose & Sons,
Spring Valley Women's Institute, Kim & Betty Aitken, Harper Automotive, Nabuurs Gardens,
Alisha MacKay – RE/MAX Harbourside Realty, DALMAC Print, Signs & Cresting, Sou' West Bar & Grill
Griz Lee Bare Lawn Care, Clinton's Red Fox Inn, Toombs & MacDougall CPA Inc., Harper Automotive,
Andrew Brown – Century 21 Realty, Blue Sky Greenhouse, Greg & Kathy Caseley, Copy Cats Print & Promotions,
Paul Montgomery – RE/MAX Realty, Tignish Legion, Clinton Pond Bed & Breakfast.

Silver Sponsors

Spring Valley Building Centre, Monaghan Farms, Mid Isle Farms, Kennedy Metals,
Robin Aitken-Cox & Palmer, John & Barb Scales, Reta MacDonald, Town of Stratford,
Town of Souris, Town of O'Leary, Kenmac Energy, Orwell Bay Farms, Ron Dowling & Donna Birch,
Kevin & Susan Simmons, Kensington Agricultural Servies, Branch Manager,
Tourism Industry Association of Prince Edward Island, Souris Credit Union, Holmes Construction.

Gold Sponsors

Belvedere Funeral Home, Family of Keith & Jean Pickard, PEI Women's Institute, Prince Edward Aqua Farms, Provincial Credit Union, Judy Profitt.

Major Sponsors

Catherine Callbeck Endowment Fund, Veseys Seeds, Twin Shores Camping Area,
Master Packaging, Innovation PEI, Island Waste Management Corporation, Ellen & Barry Cudmore,
Kool Breeze Farms, PEI Mutual Insurance, Brian & Sheryll Pound, Town of Kensington.

Town of Kensington - Request for Decision

Date: June 9, 2025 Request for Decision No: 2025-27

Topic: Community Safety Net – Partners in Safety – Request for Financial Support

Proposal Summary/Background:

The Kensington Police Service is once again seeking the Town's support in partnering with Community Safety Net to provide a drug safety book for youth attending Queen Elizabeth Elementary School. This initiative has been supported by the Town for approximately the past 13 years and aims to educate children about the dangers of drug use while also equipping parents with strategies to help keep their children safe.

The book is part of a broader safety initiative and includes access to the Kensington Safety App, which features general safety information, safety videos, and interactive content for youth. The app and additional information about the initiative can be accessed at:

www.communitysafetynet.com/leaders/kensington-police-service/

In 2024, the Town supported the initiative by sponsoring 60 children at a cost of \$16 per book, for a total contribution of \$960. The number of books made available to students depends on the level of financial support received from local businesses and organizations. A list of typical local sponsors is attached for Council's reference. The cost in 2025 is again \$16 per book and the request for 2025 is that the Town consider sponsoring 80 children (\$1,280).

Benefits:

- Will provide important drug safety information to local youth.
- Will assist the Kensington Police Service in their fight against drugs locally.

Disadvantages:

• No significant disadvantages are noted.

Discussion/Comments:

The initiative continues to align with the Town's commitment to community safety, youth development, and support for the Kensington Police Service. By supporting this program, the Town contributes directly to a proactive approach in educating youth about drug safety in a format that is both accessible and engaging.

Town Council is asked to deliberate on the level of financial support it deems appropriate for the 2025 program year. No specific amount is being recommended in this request.

Options:

- 1. Approve a financial contribution to the Community Safety Net drug safety book initiative in an amount deemed appropriate by Council.
- 2. Decline to provide financial support for the 2025 program year.
- 3. Refer the matter back to staff for further information.

Costs/Required Resources:	Source of Funding
TBD	General Government - Donations and Grants

Recommendation:

It is recommended that Town Council consider the information provided and determine the level of financial support, if any, it wishes to provide for the 2025 Community Safety Net initiative.

Proposed Resolution

BE IT RESOLVED THAT Town Council provide financial support in the amount of \$______ for the 2025 Community Safety Net Drug Safety Book initiative.

From: Tisha Van Dusen <tvandusen@CommunitySafetyNet.Com>

Sent: Monday, May 26, 2025 11:26 AM

To: cao@kensington.ca

Subject: Help kids now in Kensington

Hi Geoff,

The Kensington Police Service is conducting an important Safety initiative for kids in Kensington. This involves the whole community and is made possible with the help of local supporters, like you.

The investment is only 16 dollars per child. Last time Town of Kensington supported 60 kids. Can you help 80 kids for 1280 dollars this year?

Click on the link below to learn what Police Chief Landon Yuill is doing to protect the kids in Kensington, including the option to support online.

www.communitysafetynet.com/leaders/kensington-police-service/

Previous "Partners in Safety"

Anne of Green Gables Museum

Art Gallery of Tony Diodati

Bell's Service Center

Big Dog Convenience New Annan

Building Blocs Home Improvement Inc.

Burlington Adrenaline Park

Cavendish Agri Services Ltd. - Kensington

Clark Fuel Saver

Coles' Mussel Farms Ltd.

Commercial Construction Ltd.

Eastern Fiberglass Ltd.

French River Golf Course

Graham's Deep Sea Fishing

Haunted Mansion

Island Softeners Ltd.

Karen's Barber Shop

Kensington & Area Chamber of Commerce

Kensington Agricultural Services Ltd.

Kensington Country Store

Kensington Food Basket

Kensington Lions Club

Kensington Police Service

Kensington United Church

Kent Building Supplies - Kensington

Lyman Paynter

MacPhee's Metal Roofing

Malpeque Oyster Barn

Mary's Bake Shoppe

McLean's Lawn & Tree Care

Mid-Isle Electric Ltd.

Mike's Independent

Moase Plumbing & Heating Ltd.

Monaghan Farms Ltd

Mountain Woodworking

Provincial Credit Union - Kensington

Royal Canadian Legion Branch 9

Safe Drivers PEI

Sew Blessed Quilters
Sharpe Construction Ltd.
Sherry's Heating Service
Ship To Shore Restaurant
Thompson Well Drilling & Geothermal Ltd.
Town of Kensington
Traveller's Rest Mini Homes Ltd.
Valley Truss & Metal / Vicwest

Yours in Safety,

Tisha Van Dusen

Safety Coordinator

Community Safety Net

1.800.665.6167



Protecting kids for LIFE!

www.communitysafetynet.com

The information transmitted, including attachments, is intended only for the person(s) or entity to which it is addressed and may contain confidential and/or privileged material. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by persons or entities other than the intended recipient is prohibited. If you received this in error, please contact the sender and destroy any copies of this information.

From: Kevin Gallant <kevingallant@gov.pe.ca>

Sent: Monday, May 26, 2025 2:13 PM

To: cao@kensington.ca

Subject: Town of Kensington - Annual Danny Hughes Ball Tournament

To Whom It May Concern,

This email is associated to the ongoing ball tournament that has been going on in our community for over 20 years.

We are requesting that the ball field fee be waivered as this has been a non for profit event giving back to the community in form of scholarships/organizations etc.

As this has been a well support event with lots of volunteers and local businesses we are requesting that event be considered "Grandfather" in wavering the fee's.

Your truly, Kevin Gallant

From: lyuill@kensington.ca

Sent: Monday, June 2, 2025 8:24 AMTo: jspencer@kensington.caCc: cao@kensington.caSubject: Fishing Derby

Good morning Your Worship,

I wanted to extend my sincere thanks to you and Council for your support in this year's Fishing Derby. This was my first time organizing the event as Chief, and while there were some changes from previous years, the event was a great success with over 200 people in attendance and 120 children registered.

Your support and that of Council played a big role in making the day a success. I would be grateful if you could pass along my thanks to all the councillors for their contributions and assistance.

I look forward to continuing this momentum with the upcoming Bicycle Rodeo at the end of the month.

Warm regards,

Landon Yuill, CD

Chief of Police

Kensington Police Service

From: lyuill@kensington.ca

Sent: Friday, May 23, 2025 8:22 AM

To: cao@kensington.ca

Subject: Appreciation for Support with Sextortion Presentation

Good morning Geoff and Wes,

On Tuesday evening, Kensington Police Service hosted a community presentation on sextortion at the Credit Union Centre. Carl Burke joined our officers to share the heartbreaking story of his son's passing as a result of sextortion. This powerful presentation had originally been scheduled to take place at KISH. Unfortunately, on Friday, Principal Donald Mulligan made the decision that it would be too traumatic for Mr. Burke to speak at the school.

With very little time, we had to quickly find a new venue and notify the public to ensure this important message still reached our community. The Murray Christian Centre was already booked, but Matt Crozier suggested the rink as an alternative, given its space and accessibility. I reached out to Graham, who was incredibly supportive and immediately offered us use of the facility.

I want to specifically recognize both Graham and Robert for going above and beyond. They set up the microphone, stage, and chairs, made themselves available throughout the evening, and even helped promote the event on social media. Their efforts were instrumental in making the event a success.

Councillors MacRae and Mann were also in attendance and played an active role by helping hand out pamphlets and supporting our outreach efforts. Their presence and involvement were greatly appreciated.

This is just one more example of the strong relationships between the police service, town staff, and council, and why it's so meaningful to be part of the Kensington community. We had approximately 50 residents attend, and the feedback has been overwhelmingly positive—with several people asking when the next presentation will be.

Sadly, our youth are not immune to these crimes. The more we can educate the public, the better chance we have of preventing future tragedies.

Thank you both, and I hope you have a great weekend.

Best regards,

Landon